

EDISON STREET

S EDISON STREET AND 300 S
SALT LAKE CITY, UTAH 84111

SCHEMATIC DESIGN - 7/14/23

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PROJECT INFORMATION

CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING
WITH APPLICABLE CODES OR STATUS WHETHER OR NOT
SPECIFICALLY REFERENCED IN THE CONSTRUCTION
DOCUMENTS

- 2021 EDITION OF THE INTERNATIONAL BUILDING CODE, INCLUDING APPENDICES C AND J
- 2021 EDITION OF THE INTERNATIONAL PLUMBING CODE, ISSUED BY THE INTERNATIONAL CODE COUNCIL
- 2021 EDITION OF THE INTERNATIONAL MECHANICAL CODE, ISSUED BY THE INTERNATIONAL CODE COUNCIL
- 2021 EDITION OF THE INTERNATIONAL FUEL GAS CODE, ISSUED BY THE INTERNATIONAL CODE COUNCIL
- 2020 EDITION OF THE NATIONAL ELECTRICAL CODE, ISSUED BY THE NATIONAL FIRE PROTECTION ASSOCIATION
- COMMERCIAL PROVISIONS OF THE 2021 EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE, ISSUED BY THE INTERNATIONAL CODE COUNCIL

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PROJECT RENDERING



VICINITY MAP



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EDISON STREET

S EDISON STREET AND 300 S
SALT LAKE CITY, UTAH 84111

A DEVELOPMENT PLAN

[illegible]

REVISION		
DATE	DESCRIPTION	#

20

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SHEET NA

COVER SHEET

JOB NUMBER: 2249901

DRAWN BY AG	CHECKED BY GK
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A00.00

SHEET INDEX			SYMBOL	SHEET NO.	SHEET NAME	SHEET NUMBER
GENERAL						
A00.00	COVER SHEET					X
A00.01	SHEET INDEX					X
CIVIL						
C200	SITE PLAN					X
C300	GRADING PLAN					X
C400	UTILITY PLAN					X
LANDSCAPE						
L3-01	SITE PLAN					X
ARCHITECTURAL						
A00.06	GENERAL NOTES					X
A00.07	SUBMITTAL LIST					X
A00.10	ARCHITECTURAL SITE PLAN					X
A00.12	SITE DATA PLAN					X
A00.60	CODE DATA SHEET					X
A00.70	WALL PARTITION DETAILS					X
A00.71	WALL PARTITION DETAILS					X
A00.72	WALL PARTITION DETAILS					X
A00.80	FLOOR / CEILING ASSEMBLY DETAILS					X
A02.00	OVERALL PLAN - BASEMENT					X
A02.10	OVERALL PLAN - LEVEL 1					X
A02.20	OVERALL PLAN - LEVEL 2					X
A02.30	OVERALL PLAN - LEVEL 3					X
A02.40	OVERALL PLAN - LEVEL 4					X
A02.50	OVERALL PLAN - LEVEL 5					X
A02.60	OVERALL PLAN - LEVEL 6					X
A02.70	OVERALL PLAN - LEVEL 7					X
A02.80	OVERALL PLAN - ROOF					X
UNIT NOTES						
A04.01	UNIT S1					X
A04.02	UNIT S2					X
A04.03	UNIT A1					X
A04.04	UNIT A2					X
A04.05	UNIT A3					X
A04.06	UNIT B1					X
A04.07	UNIT B2					X
A04.08	UNIT B3					X
A04.09	UNIT B4					X
A04.10	UNIT B5					X
A04.11	UNIT B6 - LVL 1					X
A04.12	UNIT B6 - LVL 2					X
A04.13	UNIT B7 - LVL 1					X
A04.14	UNIT B7 - LVL 2					X
A05.01	3D EXTERIOR VIEWS					X
A05.02	OVERALL ELEVATIONS					X
A05.03	OVERALL ELEVATIONS					X
A06.01	OVERALL BUILDING SECTIONS					X
A06.10	TYPICAL WALL SECTIONS					X
ELECTRICAL						
E107	LEVEL 3 SECTION A LIGHTING PLAN					X
E108	LEVEL 3 SECTION B LIGHTING PLAN					X
E207	LEVEL 3 SECTION A POWER PLAN					X
E208	LEVEL 3 SECTION B POWER PLAN					X
E301	TYPICAL UNIT LIGHTINGS PLAN					X
E304	TYPICAL UNIT POWER PLAN					X
E305	TYPICAL UNIT POWER PLAN					X



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[illegible]

REVISION		
DATE	DESCRIPTION	REV

SEARCH

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SHEET NAME

SHEET INDEX

JOB NUMBER: 2249901

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A00.01



SCALE

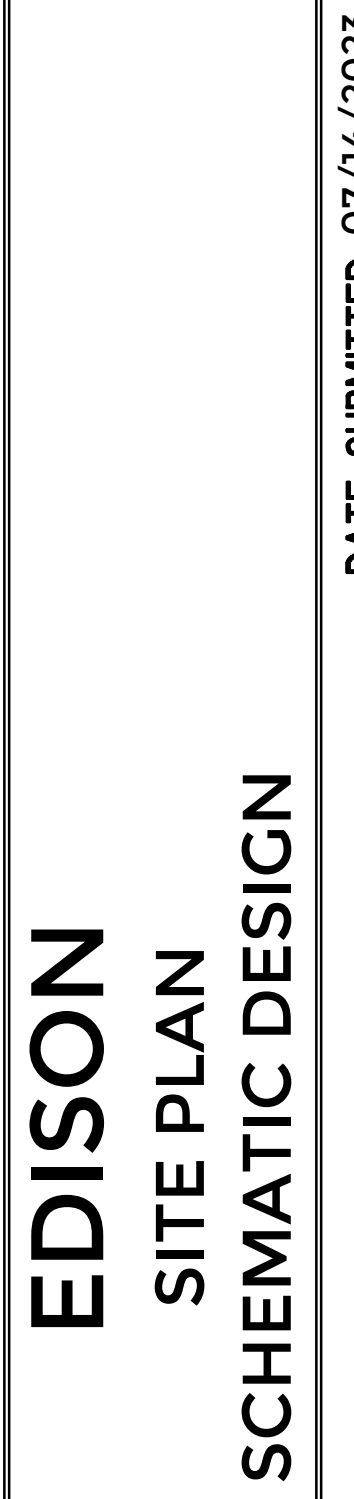
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SHEET NUMBER

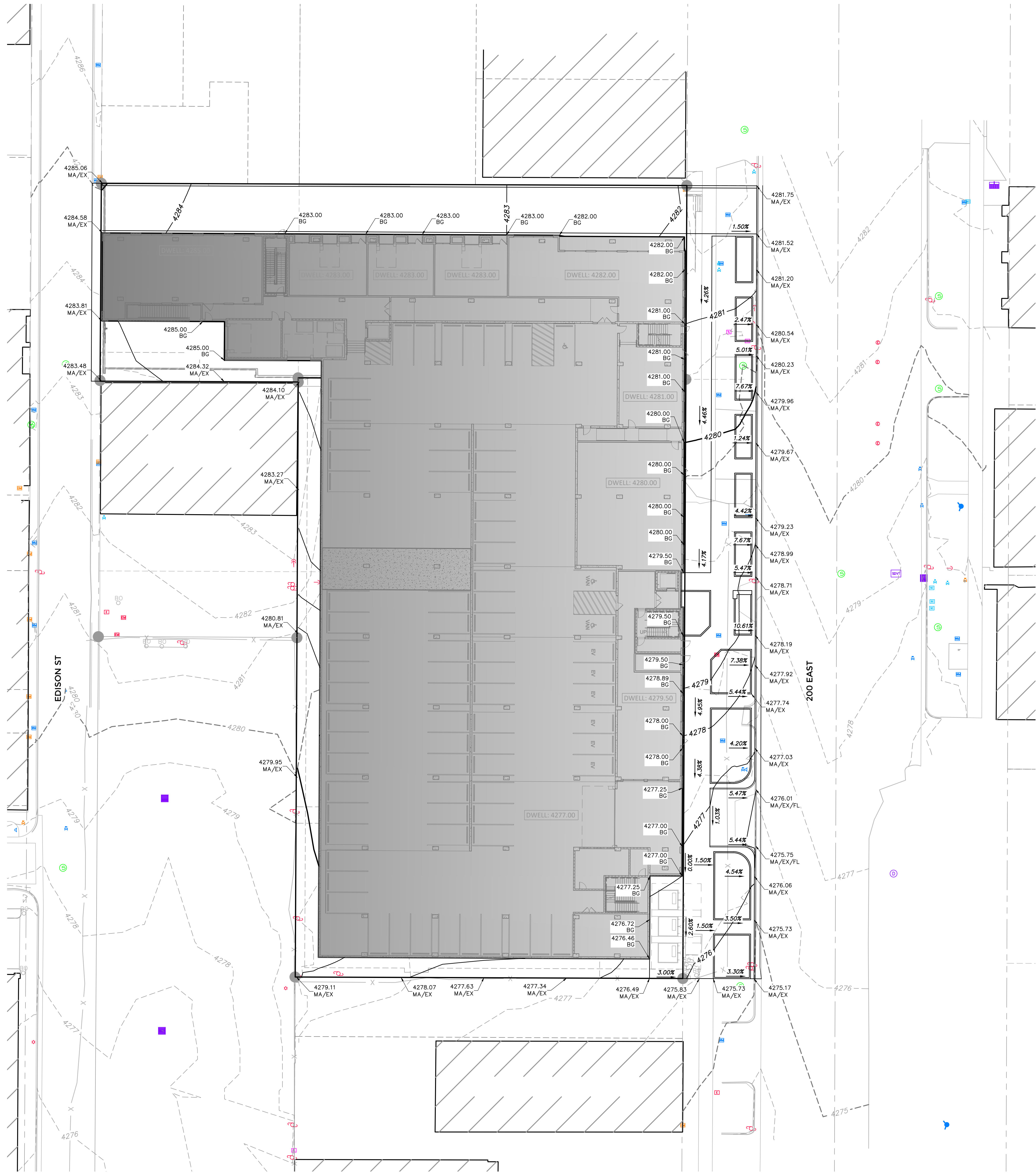
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2 OF 3

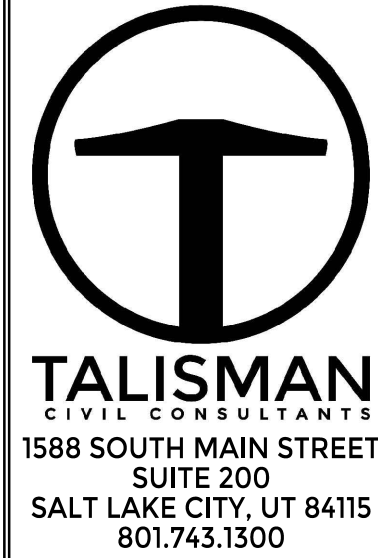


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DATE SUBMITTED: 07/14/2023



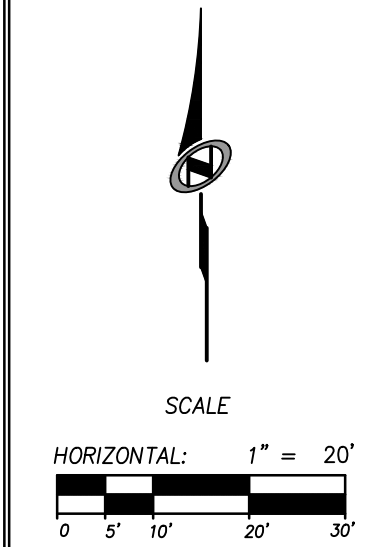
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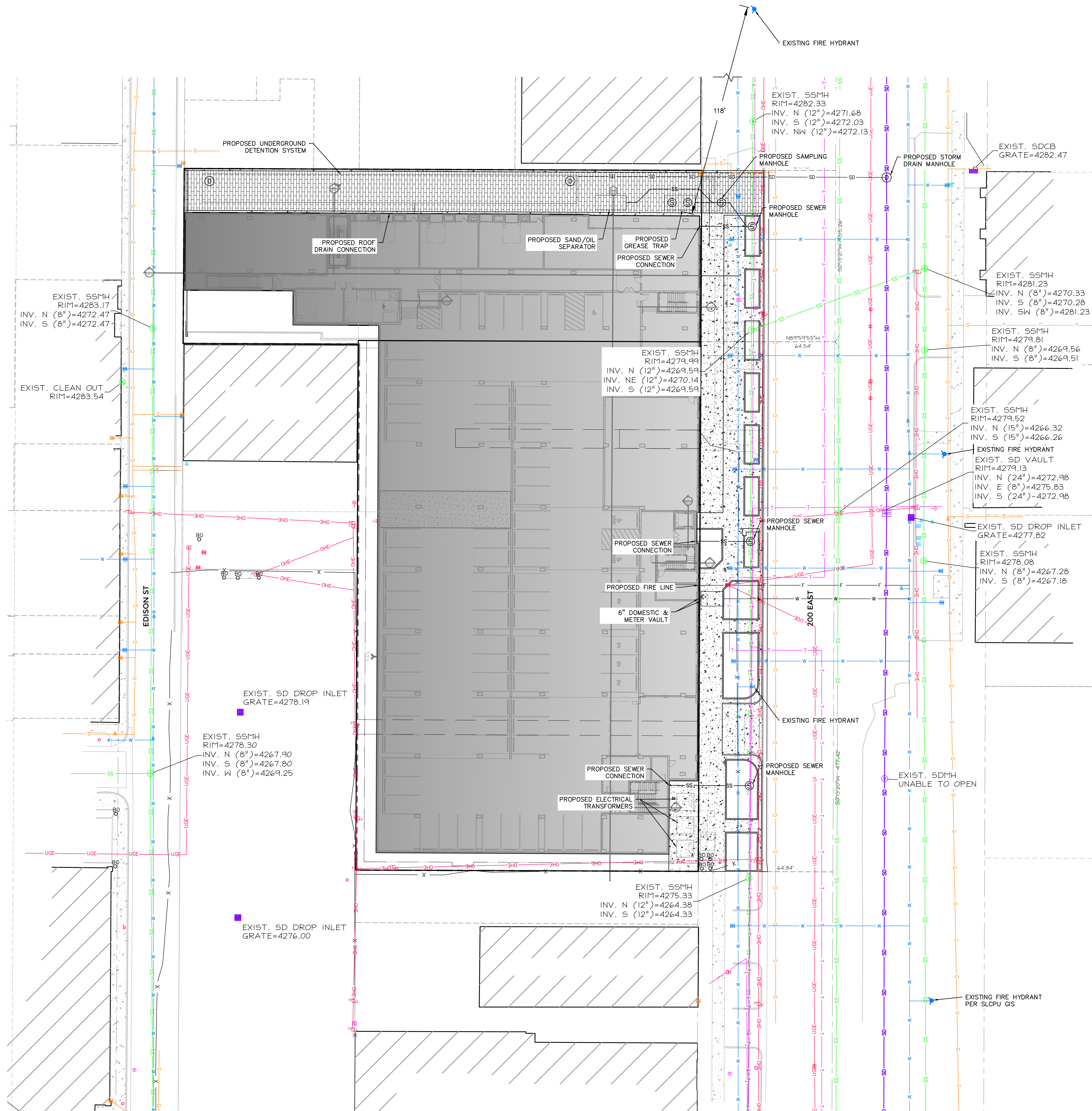
EDISON
GRADING PLAN
SCHEMATIC DESIGN

DATE SUBMITTED: 07/14/2023

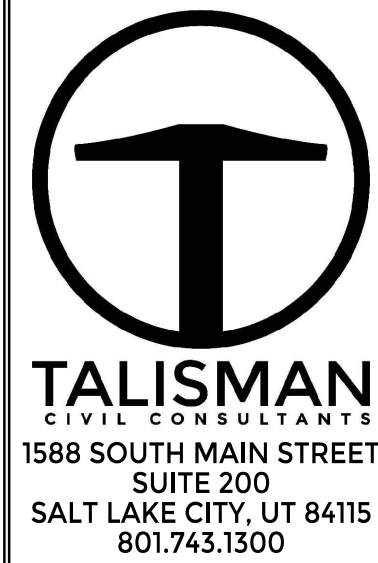
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SHEET NUMBER
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3 OF 3



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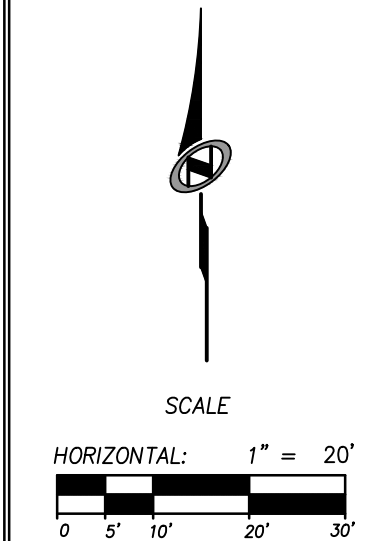


NO.	REV.	DATE	BY	REVISIONS

EDISON
UTILITY PLAN
SCHEMATIC DESIGN

DATE SUBMITTED: 07/14/2023

TCC JOB NUMBER: 23-022



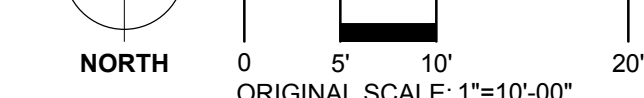
SHEET NUMBER
C400
4 OF 3

SALT LAKE CITY, UTAH

DRAWN: _____ REVIEWED: _____

PROJECT NUMBER: 0000

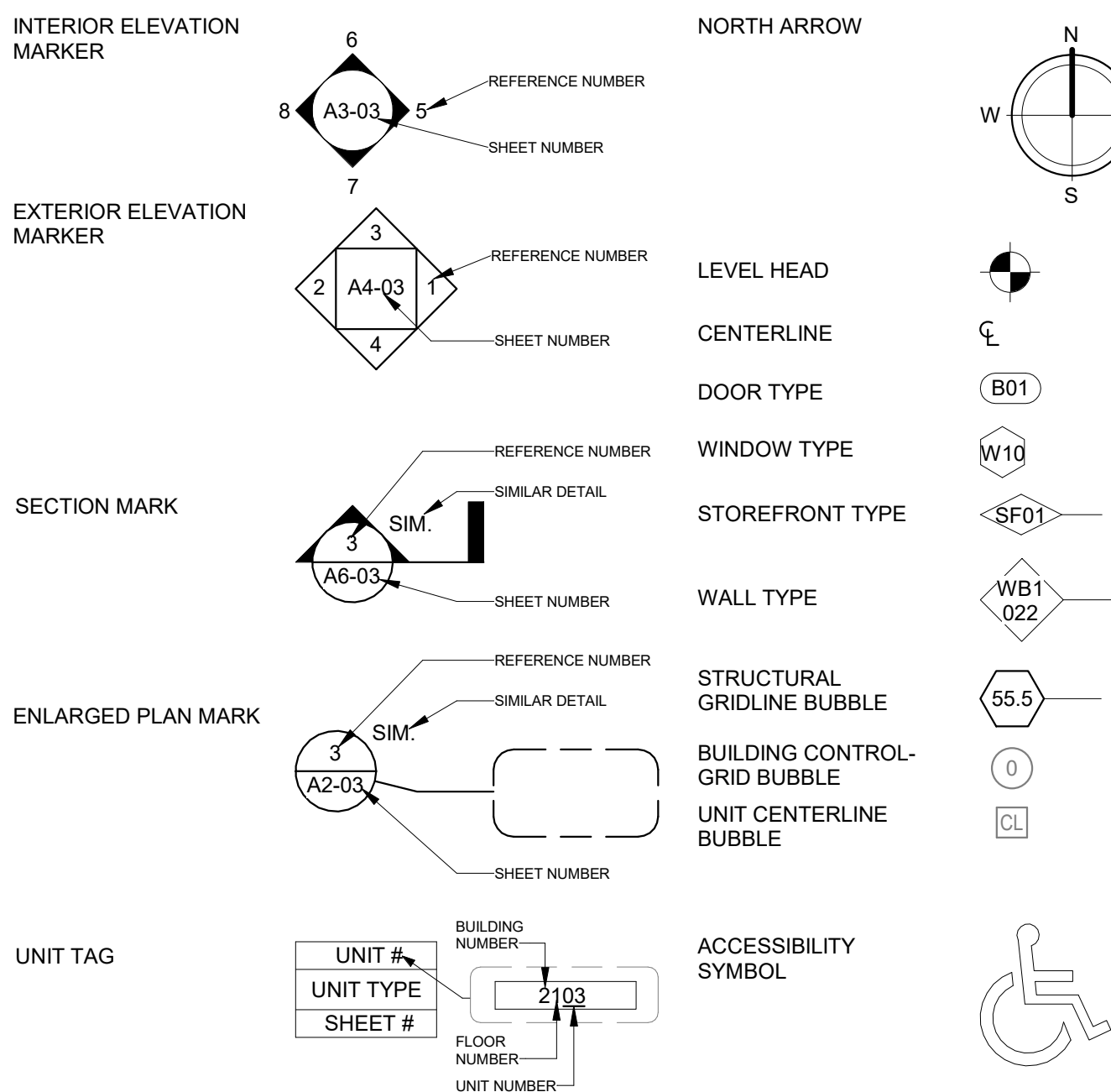
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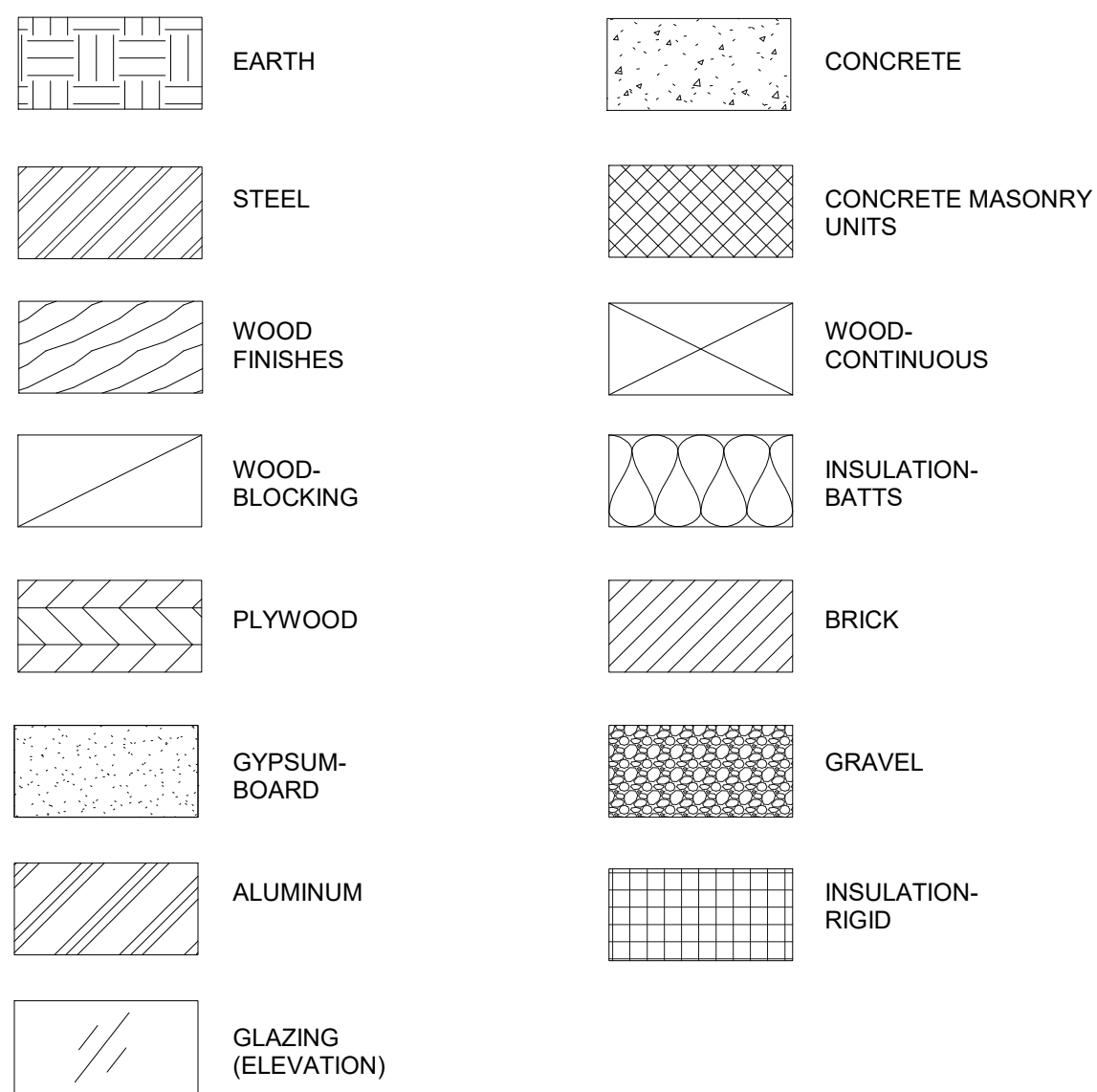
ABBREVIATIONS

AB.	ANCHOR BOLT	MAS.	MASONRY
ABV.	ABOVE	MAT.	MATERIAL
ACT.	ADJUSTABLE TILE	MAX.	MAXIMUM
ADH.	ADHESIVE	M.C.	MEDICINE CABINET
ADJ.	ADJUSTABLE	M.D	MEDICINE DIMENSION
A.F.F	AFTER FINISH FLOOR	M.D.O	MEDIUM DENSITY OVERLAY
ALUM.	ALUMINUM	MECH.	MECHANICAL
ALT.	ALTERNATE	MFR.	MANUFACTURER
APPROX.	APPROXIMATELY	MIN.	MINIMUM
ARCH.	ARCHITECT/ARCHITECTURAL	MISC.	MISCELLANEOUS
ASH.P.	ASPHALT	M.M.	MOLDED MASONITE
AVG.	AVERAGE	M.O.	MASONRY OPENING
		MTD.	MOUNTED
BALC.	BALCONY	M.T.L	METAL
BD	BOARD	M.W.W.T	METAL WITH WOOD TRIM
BDRM.	BEDROOM	N.	NORTH
BLDG.	BUILDING	NAT.	NATURAL
BLKG.	BLOCKING	N/A	NOT APPLICABLE
BM.	BEAM	N.I.C	NOT IN CONTRACT
BRK.	BREAK	NO	NUMBER
B.O.	BOTTOM OF	NOM.	NOMINAL
BRNG.	BEARING	N.T.S	NOT TO SCALE
BSMT	BASEMENT	O.C	ON CENTER
B.T.U./HR.	BRITISH THERMAL UNIT/OUR	O.C.E.W	ON CENTER EACH WAY
BF.	BI-FOLD	O.D	OUTSIDE DIAMETER
C.	CELSIUS	O.H.D	OVER HEAD DOOR
CAB.	CABINET	OPS.	OPPOSITE
C.F.M.	CUBIC FEET OF AIR PER MINUTE	OPP.H	OPPOSITE HAND
C.F.P.	CAST-IN PLACE	O.S.B	ORIENTED STRAND BOARD
C.I.S.	CONTINUOUS INSULATION SYSTEM		
C.J.	CONTROL JOINT	PR.	PAIR
C.L.	CENTER LINE	PART.	PARTITION
CLO.	CLOSET	PRE-CAST	PRE-CAST
CLG.	CEILING	PL.	PLATE
C.M.U	CONCRETE MASONRY UNIT	PLAS.LAM.	PLASTIC LAMINATE(PL.)
COL.	COLUMN	PLYWOOD.	PLYWOOD
COMP.	COMPOSITION	PNT.	PAINT(ED)
CONC.	CONCRETE	PREFAB.	PREFABRICATED
CONST.	CONSTRUCTION	P.S.F.	POUND PER SQUARE FOOT
CONT.	CONTINUOUS	P.S.I.	POUND PER SQUARE INCH
CORR.	CORRIDOR	P.T	PRESSURE TREATED
CPT.	CARPET	P.T.D	PAPER TOWEL DISPENSER
C.T.	CERAMIC TILE	PVKM.	PAVEMENT
DEG.	DEGREE	Q.T.	QUARRY TILE
D.F.	DIAGRAM	QTY.	QUANTITY
DIA.	DIAMETER	R.	RADIUS OR RISER
DIM.	DIMENSION	R.D	ROOF DRAIN
DN.	DOWN	R & S	ROD & SHELF
DR.	DOOR	R RECP.T	RECEPTION
D.S.	DOWN SPOUT	REF.	REFRIGERATOR
DWSGS.	DRAWINGS	REINF.	REINFORCING
E.A.	EACH	REQD	REQUIRED
E.F.	EXHAUST FAN	REV.	REVISION
E.J.	EXPANSION JOINT	R.H.	RIGHT HAND
EL	ELEVATION	RM.	ROOM
ELEC.	ELECTRICAL	R.O.	ROUGH OPENING
ELEV.	ELEVATOR	R.O.W	RIGHT OF WAY
E.O.C.	END OF CARPET	RSTRM.	RESTROOM
EQ.	EQUAL	S.	SPECIFIED OR SPECIFICATION
EQUIP.	EQUIPMENT	S.A.	SOUND ATTENUATION BLANK
E.W.	EACH WAY	S.C.W.D	SOLID CORE WOOD DOOR
E.W.C	ELECTRICAL WATER COOLER	SCHED.	SCHEDULE
E.W.H	ELECTRIC WATER HEATER	S.D.	SOAP DISH
EXIST.	EXISTING	SECT.	SECTION
EXP.	EXPANSION	S.F.	SQUARE FOOT.(FEET)
EXT.	EXTERIOR	S.F.E.	SUB FLOOR ELEVATION
F.	FAHRENHEIT	S.H.	SHOWER HEAD
FAB.	FABRICATE	SHT.	SHEET
F.AC	FIRE ALARM CABINET	SIM.	SIMILAR
F.B.O	FURNISHED BY OTHER	SPEC.	SPECIFICATION
F.C.	FIRE CODE	SQ.	SQUARE
F.D.	FLOOR DRAIN	S.R.	SHOWER ROD
F.F.	FOUNDATION	S.R.O.	SHEET ROCK OPENING
F.E.C.	FIRE EXTINGUISHER	S.T.C	SOUND TRANSMISSION CLASS.
F.F.F.	FINISH FLOOR	STD.	STANDARD
FIN.	FINISH	STL.	STEEL
FLASH.	FLASHING	STOR.	STORAGE
FLUOR.	FLUORESCENT	STRU.C	STRUCTURAL
FLR.	FLOOR	SUSP.	SUSPENDED
F.O.F.	FACE OF FINISH	T.	THREAD, TILE OR TOP
F.P.	FIRE PLACE	T.O.S.	TOP OF SLAB
F.P.M.	FOOT/MINUTE	T.-	TOP OF
FTG.	FOOTING	T+G	TOE GROUND AND GROOVE
FURN.	FURNISHED	T.C	TOP OF CURB
FURR.	FURRING	T.B.	TOWEL BAR
FMG.	FRAMING	T.L	TELEPHONE
FR.	FRAME	TEMP.	TEMPERATURE
		THK.	THICK
GAL.V.	GALVANIZED	THR.	THRESHOLD
GA.	GAUGE	T.W.	TOP OF WALL
GEN.	GENERAL	TRAP	TYPICAL
G.C.	GENERAL CONTRACTOR	U.L	UNDERWRITERS LABORATORY
G.B.	GRAB BAR	U.N.O	UNLESS NOTED OTHERWISE
GL.	GLASS	URINAL	URINAL
G.P.M.	GALLONS PER MINUTE	V.C.T	VINYL COMPOSITION TILE
GR.	GRADE	VERT	VERTICAL
GYPBD.	GYPSUM BOARD	VEST.	VESTIBULE
HC.	HANDICAPPED	VIN.	VINYL
HD. HT.	HEAD HEIGHT	V.W.C.	VINYL WALL COVERING
HDR.	HEADER	W.	WEST OR WIDTH
HDW.	HARDWARE	WD.	WOOD
H.M.	HOLLOW METAL	W.I.C	WALK IN CLOSET
HORIZ.	HORIZONTAL	WT.	WEIGHT
HP.	HORSE POWER	W.W.F	WELDED WIRE FABRIC
HR.	HOUR	W.W.M.	WELDED WIRE MESH
H.V.A.C.	HEIGHT VENTILATING, & AIR CONDITIONING	W.W.W.T.	WOOD WITH WOOD TRIM
HWD.	HARDWARE	@	AT
HZT.	HERTZ	&	AND
I.D.	INSIDE DIAMETER	#	POUND, NUMBER
IN.	INCH		
INSUL.	INSULATION		
INT.	INTERIOR		
JAN.	JANITOR		
J.B.	JAMB		
JO.	JOIST		
JT.	JOINT		
KIT.	KITCHEN		
L.	LIGHT		
LAM.	LAMINATE		
LAV.	LAVATORY		

SYMBOLS



GRAPHIC REPRESENTATION



OWNER

1. THE OWNER SHALL OBTAIN AND PAY FOR THE GENERAL BUILDING PERMITS AND IMPACT FEES. THESE PERMITS SHALL BE PROVIDED TO THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
2. THE OWNER SHALL APPROVE ALL MATERIAL FINISH AND COLOR SELECTIONS, VIA CONTRACTOR SUBMITTED SHOP DRAWINGS, PRIOR TO ORDERING AND INSTALLATION FOR ANY EQUIPMENT.
3. THE OWNER SHALL COORDINATE AND SECURE AN AGREEMENT FOR ACCESS TO SITE CONSTRUCTION, STAGING AREA, AND STORAGE AREAS.

CONTRACTOR

- THE CONTRACTOR SHALL NOTIFY IMMEDIATELY THE ARCHITECT AND OWNER, IN WRITING, PRIOR TO CONTINUING WITH THE WORK IN SAFETY IF THERE ARE:
- A. ANY ERRORS, OMISSIONS, DISCREPANCIES, CONFLICTS, OR INCONSISTENCIES ON THESE CONTRACT DOCUMENTS.
 - B. ANY VARIATION OR AMBIGUITIES BETWEEN THESE DRAWINGS AND ACTUAL SITE AND CONSTRUCTION CONDITIONS AND/OR REQUIREMENTS.
 - C. DISCREPANCIES AND/OR UNCERTAINTIES AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED.
2. THE CONTRACTOR SHALL NOT RELY SOLELY ON THE ELECTRONIC VERSIONS OF THE PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY THE LOCATION OF PROJECT FEATURE DIMENSIONS IN ACCORDANCE WITH THE HARD COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR:
- A. COORDINATION OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES REQUIRED FOR SAFE EXECUTION OF EFFICIENT AND ORDERLY INSTALLATION OF EACH PART OF WORK TO BE COMPLETED.
 - B. INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
4. THE CONTRACTOR SHALL:
- A. OBTAIN AND PAY FOR ALL OTHER PERMITS, CERTIFICATIONS AND APPROVALS REQUIRED IN CONNECTION WITH ALL WORK UNDER CONTRACT DOCUMENTS THAT ARE NOT PROVIDED BY THE OWNER.
 - B. SURVEY THE PROJECT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS. VERIFY ALL SITE DIMENSIONS ON CIVIL DRAWINGS, EXISTING CONSTRUCTION GRADES AND UTILITIES ON PROJECT AT PROJECT SITE PRIOR TO BEGINNING PROJECT.
 - C. EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS AND SCOPE OF WORK IN THEIR ENTIRETY. ALL ITEMS INDICATED ON ANY DRAWING SHALL BE INCLUDED AS A COMPLETE SYSTEM, UNLESS NOTED OTHERWISE.
 - D. ALL COSTS SUBMITTED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED.
 - E. INSURE THAT ALL AREAS ON THE ACCESSIBLE ROUTE THROUGHOUT THE SITE MEET THE REQUIREMENTS OF THE APPLICABLE ACCESSIBILITY CODES. COORDINATE BETWEEN CIVIL AND ARCHITECTURAL PLANS.
 - F. VERIFY ALL DIMENSIONS IN THE FIELD, AND COORDINATE WORK BETWEEN ALL TRADES.
 - G. PAINT ALL SURFACES WHICH REQUIRE PROTECTION FROM THE ELEMENTS WITH THE APPROPRIATE PAINT, INCLUDING NECESSARY PRIMER COATS AND BACK PRIMING.
 - H. SEAL WITH THE APPROPRIATE TYPE OF SEALANT, AND FLASH AT ALL LOCATIONS NECESSARY TO PREVENT PENETRATION OF MOISTURE AT TRANSITIONS OF DISSIMILAR MATERIALS TO INCLUDE, BUT ARE NOT LIMITED TO:
 - a. FLASHING:
 - CONTINUOUS 25 MIL MEMBRANE FLASHING TO ALL INSIDE AND OUTSIDE WALL CORNERS.
 - FLASHING SHALL BE INSTALLED AROUND ALL WINDOW OPENINGS, ROOF OPENINGS, AND AT THE INTERSECTION OF CHIMNEYS, WOOD CONSTRUCTION, AND FRAME WALLS. SEAL AND MAKE WEATHER-TIGHT.
 - b. AIR IMPERMEABLE SEALANT:
 - CONTINUOUS AT ALL EXTERIOR JOINTS AROUND WINDOW FRAMES, DOOR FRAMES, BETWEEN WALL CAVITIES, BETWEEN WALLS AND FOUNDATION, BETWEEN WALL AND ROOF, BETWEEN WALL AND PANELS, ALL PENETRATIONS AND UTILITIES THROUGH WALLS AND ROOFS, BETWEEN ALL DISSIMILAR MATERIALS, AND ALL OTHER OPENINGS IN BUILDING ENVELOPE.
 - PLUMBING & WIRING PENETRATIONS IN ENVELOPE.
 - SOLE PLATES AT EXTERIOR SLAB ON GRADE.
 - c. WEATHERSTRIP:
 - CONTINUOUS AT ALL EXTERIOR DOORS & WINDOWS.
 - CONTINUOUS AT ALL ATTIC ACCESSES IN CONDITIONED AREAS.
 - CONTINUOUS AT INTERIOR DOOR OPENINGS INTO UNTREATED SPACE.
 - d. ALL EXTERIOR WORK SHALL BE INSTALLED IN WEATHER TIGHT MANNER AS REQUIRED.
 - I. EMPLOY, AS REQUIRED BY GOVERNING AUTHORITIES, AN APPROVED TESTING LABORATORY TO MAKE ALL TESTS FOR CONCRETE, SOIL, COMPACTION AND WELDING TO INSURE COMPLIANCE WITH PLANS, STANDARDS AND CODES. REFER TO CONCRETE SPECIFICATION FOR FREQUENCY OF TESTING REQUIRED. THESE COSTS SHALL BE INCLUDED IN THE CONTRACT.
 - J. FIELD VERIFY ALL ROUGH OPENINGS.
 - K. FULLY GUARANTEE THE WORK AND EQUIPMENT FOR ONE (1) YEAR FROM THE DATE OF FINAL PAYMENT AND ACCEPTANCE FROM ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS.
 - L. REMOVE RUBBISH FROM PREMISES AS OFTEN AS NECESSARY OR AS DIRECTED. ALL WORK AND EQUIPMENT SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER BEFORE TURNING SAME OVER TO THE OWNER.
 - M. INSPECT, REPAIR AND PREPARE FLOORS AS REQUIRED TO PROVIDE A SATISFACTORY SUB-FLOOR FOR FLOOR FINISH MATERIALS. SATISFACTORY SUB-FLOOR IS DEFINED AS A SURFACE THAT IS FREE FROM CRACKS, HOLES, RIDGES, COATINGS, OR DEFECTS THAT WOULD PREVENT ADHESIVE BOND OR IMPAIR PERFORMANCE OR APPEARANCE OF FINISHED MATERIALS.
 - N. UPON COMPLETION OF THE WORK, REMOVE ALL TOOLS, EQUIPMENT, TEMPORARY PROTECTION, AND EXCESS MATERIALS FROM THE SITE. CLEAN / POLISH ALL HARDWARE AND FIXTURES, CLEAN / REMOVE ALL PAINT DRIPS / SPLATTERS AND STAINS. REMOVE ALL APPLIANCE PROTECTIONS AND LEAVE INTERIOR AREAS BROOM CLEAN, FREE OF STAINS, FILM AND FOREIGN SUBSTANCES.
 - O. BRING TO THE ATTENTION OF THE OWNER ANY MATERIAL SUSPECTED OF BEING HAZARDOUS WHILE ENCOUNTERED DURING EXECUTION OF THE WORK. A DETERMINATION WILL BE MADE BY THE OWNER AS TO WHETHER THE CONTRACTOR SHALL PERFORM TESTS TO DETERMINE IF THE MATERIAL IS HAZARDOUS.
5. THE CONTRACTOR SHALL PROVIDE AND INSTALL:
- A. ALL NECESSARY FLASHING INCLUDING (BUT NOT LIMITED TO) THROUGH FLASHING, STEP FLASHING, COUNTER FLASHING, CAP FLASHING, BASE FLASHING, AND FLEXIBLE FLASHING, WHERE NECESSARY, TO ENSURE A WATER TIGHT BUILDING.
 - B. CONTINUOUS METAL CORNER BEADS AT ALL GYPSUM BOARD EXTERIOR CORNERS FROM FLOOR TO CEILING.
 - C. CONTINUOUS METAL "L" BEADS AT ALL EXPOSED GYPSUM BOARD EDGES FROM FLOOR TO CEILING.
 - D. ALL LOCKING DEVICES, SECURITY DEVICES, AND GLASS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS, REGULATIONS AND REQUIREMENTS.
 - E. AN INSULATION AND VAPOR BARRIER THAT IS EXPOSED AT WALLS, CEILINGS, AND FLOOR SURFACES AT ALL OCCUPIED SPACES EXPOSED TO NON-TEMPERED AREAS.
6. THE CONTRACTOR SHALL PROTECT:
- A. MATERIALS WHICH ARE SENSITIVE TO DETERIORATION.
 - B. THE REQUIRED PROTECTION OVER SHEAR WALLS AT ALL RATED WALLS AS APPROVED BY THE BUILDING OFFICIAL.
 - C. ALL EXISTING TREES, AS NOTED TO REMAIN ON CIVIL PLANS, SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION BY BOXING OR OTHER OWNER APPROVED MEANS.
 - D. ALL EXISTING WORK, UTILITIES, CONDUIT, PIPING, EQUIPMENT, AND/OR ADJACENT AREAS NOT SHOWN TO BE ALTERED OR REMOVED FROM DAMAGE DURING EXECUTION OF THE WORK. THE CONTRACTOR SHALL BEAR THE TOTAL EXPENSE FOR, AND SHALL REPAIR TO EXISTING CONDITIONS, DAMAGE TO EXISTING CONSTRUCTION, EQUIPMENT, OR IMPROVEMENTS NOT INDICATED IN THE DRAWINGS SPECIFICATIONS TO RECEIVE ALTERATIONS, ADDITIONS, OR REMOVAL.
 - E. EXISTING STREET AND SURFACE PARKING AREAS IN A CLEAN CONDITION AND PROVIDE ADEQUATE MEANS TO CLEAN TRUCKS AND OTHER EQUIPMENT.
7. THE CONTRACTOR SHALL PROVIDE FULL SCALE, WOOD FRAMED MOCK-UP WITH ACCURATE DETAILS OF CONSTRUCTION. THE APPROXIMATE SIZE SHALL BE: 20' LONG X 10' HIGH:
- A. MOCK UP SHALL INCLUDE: 1 DOOR, 2 WINDOWS, CEMENTITIOUS PANEL, BRICK, METAL PANEL, METAL RAILING, ROOF MATERIAL.
 - B. THE LOCATION OF THE MOCK-UP ON THE SITE TO BE APPROVED BY OWNER AND CONTRACTOR.

GENERAL

1. THERE SHALL BE NO DEVIATION FROM SPECIFICATIONS WITHOUT THE WRITTEN APPROVAL OF THE OWNER, ARCHITECT, AND/OR ENGINEER.
2. QUANTITIES INDICATED ON THE PLANS ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR, BUT SHOULD NOT BE ASSUMED TO ALWAYS BE CORRECT. IN THE EVENT OF DISCREPANCY, THE PLAN TAKES PRECEDENCE OVER THE QUANTITY INDICATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS AND THE LIABILITY PERTAINING TO THOSE QUANTITIES AND ANY OTHER RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS.
3. "TYPICAL" MEANS THE REFERENCED DETAIL SHALL APPLY FOR ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
4. ALL MATERIALS SHALL BE NEW AND SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURER'S INSTRUCTIONS AND/OR RECOMMENDATIONS.
5. ROOFING SHALL BE CLASS - B OR BETTER, INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
6. INSULATE ALL EXTERIOR WALLS & CONDITIONED SPACES W/ KRAFT FACED FIBERGLASS, UNLESS NOTED OTHERWISE, INSULATION FRICTION FIT IS NOT ACCEPTABLE TO MEET REQUIRED ENERGY EFFICIENCY STANDARD.
7. FIELD MODIFICATION TO WORK IN PLACE MUST COMPLY WITH THE CUTTING AND PATCHING REQUIREMENTS.
8. GYPSUM WALL BOARD SHALL BE:
 - A. INSTALLED IN CONFORMANCE WITH THE GYPSUM ASSOCIATION'S RECOMMENDED PRACTICES FOR THICKNESS, NAILING, TAPING, AND STUD SPACING.
 - B. 5/8" TYPE "X" MADE IN USA, WITH MATERIAL SOURCE IN THE U.S.A.
 - C. WATER-RESISTANT GYPSUM BOARD AT KITCHEN/TOILET BACKSPLASHES, AND LAUNDRY WET WALLS.
9. FILL ALL CONTROL JOINTS WITH TRAFFIC SEALANT AND EXPANSION JOINTS WITH EXPANSION JOINT SYSTEM IN PARKING DECK
10. SIZE AND LOCATION OF ALL FLOOR OPENINGS TO BE VERIFIED WITH TRADE AFFECTED BEFORE WORK. PATCH AND SEAL ALL PENETRATIONS IN FLOOR TO COMPLY WITH APPLICABLE BUILDING AND/OR FIRE CODES.
11. MAXIMUM FLAME SPREAD RATING ON ALL INTERIOR FINISH MATERIALS SHALL NOT BE GREATER THAN THE REQUIREMENTS SPECIFIED IN IBC & NFPA 101.

STRUCTURAL / FRAMING

- DIMENSIONS:
- A. ALL DIMENSIONS ON PLANS ARE TO FACE OF STRUCTURE/STUD UNLESS OTHERWISE NOTED.
 - B. ALL ANGLED WALLS ARE 45 DEGREES UNLESS NOTED OTHERWISE.
 - C. DOOR LOCATIONS NOT DIMENSIONED SHALL BE LOCATED AT MIDPOINT OF WALL OR 4" CLEAR OF ROOM, FROM ADJACENT WALL CORNER, TYPICAL IF CLEARANCE ALLOWS.
 - D. DOORS AND WINDOWS ARE DIMENSIONED TO THE CENTERLINE OF THE ELEMENT U.N.O.
 - E. STRUCTURAL AND FIRE RESISTIVE INTEGRITY IS TO BE MAINTAINED AT ALL PENETRATIONS IN ACCORDANCE WITH THE REQUIREMENTS OF GOVERNING CODES AND AUTHORITIES.
 - F. SEE STRUCTURAL DRAWINGS FOR SHEAR WALL & NAILING PATTERN TABLE FOR GYPSUM WALL BOARD.
 - G. WIND BRACE WALLS PER STRUCTURAL DRAWINGS AND PER BUILDING-CODE.
 - H. FLOOR TOLERANCE: IN LAYING OUT AND DETAILING THE WORK TO BE COMPLETED CONSIDERATION SHALL BE GIVEN TO VARIATIONS IN THE FLOOR LEVEL RESULTING FROM CONSTRUCTION QUALITY AND LIVE AND DEAD LOADS IMPOSED ON THE STRUCTURE. FIELD VERIFICATION SHALL BE MADE OF CONDITIONS TO VERIFY CONSTRUCTION TOLERANCES.
 - I. ALIGNMENT OF DOOR HEADS AND OTHER HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL AND SHALL NOT FOLLOW VARIATIONS IN FLOOR PLANE.
 - J. ALL WOOD SILLS IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED AND HAVE A CONTINUOUS SILL SEALER. PROVIDE TERMITE SHIELDS AT CONCEALED UNDER FLOOR SPACES.
 - K. ALL CHIMNEYS SHALL TERMINATE 2'-0" MINIMUM HEIGHT ABOVE A POINT MEASURED 10'-0" HORIZONTALLY FROM THE NEAREST BUILDING OR ROOF.
 - L. LUMBER / WALLS:
 - A. COORDINATE LOCATION, CONSTRUCTION AND DETAIL OF LOAD BEARING WALLS BEFORE WORK
 - B. ALL LUMBER SHALL BE GRADE MARKED.
 - C. O.S.B. IS AN ACCEPTABLE SUBSTITUTE FOR PLYWOOD EXCEPT WHERE SPECIFIED BY STRUCTURAL ENGINEER.
 - D. STUD WALLS ARE DIMENSIONED 3-1/2", 5-1/2", OR 7-1/4", UNLESS NOTED OTHERWISE.
 - E. PARTY WALLS ARE DIMENSIONED 8" (3-1/2" + 1" + 3-1/2")
 - F. PLUMBING WALLS SHALL BE FRAMED WITH 2X6 OR 2X8 STUDS, UNLESS NOTED OTHERWISE.
 - G. REFER TO UNIT PLANS FOR LOCATION OF 2X6 WALLS.
 - H. REFER TO STRUCTURAL DRAWINGS FOR UNUSUAL OR SPECIAL FRAMING CONDITIONS
 - I. WATER RESISTANT 1/2" CERAMIC TILE BACK BOARD SHALL BE INSTALL IN BOTH TUB AND SHOWER SURROUNDS, UNLESS NOTED OTHERWISE.
 - J. ALL PENETRATIONS IN GYPSUM DRYWALL CONSTRUCTION SHALL BE SEALED WITH JOINT COMPOUND OR APPROVED ACOUSTICAL SEALANT TO PREVENT SOUND LEAKAGE.
 - K. ALL CAVITY OR CONCEALED SPACES SHALL BE DRAFT STOPPED & FIRE BLOCKED. PROVIDE BLOCKING FOR ALL CABINETS, CEILING FANS, AND BATH ACCESSORIES. INCLUDE BLOCKING FOR GRAB BARS AT ALL LOCATIONS.
 - M. PATIOS AND BALCONIES SHALL BE SLOPED MIN. 1/4" PER 1'-0" IN DIRECTION INDICATED OR TO OUTERMOST EDGE OF BUILDING STRUCTURE.
 - N. ALL EXPOSED MATERIALS FOR BALCONIES, PATIOS, SOFFITS, OVERHANGS ETC. SHALL BE APPROVED EXTERIOR GRADE.
 - O. BALCONY AND PATIO SUPPORTS VARY ACCORDING TO THE EXTERIOR ELEVATIONS. SEE ELEVATIONS FOR LOCATION OF BRICK PIER, STONE PIER, POLY COLUMN OR RAILINGS AT BALCONIES.
 - P. PROVIDE GALVANIZED METAL ANCHOR FOR WOOD POSTS BEARING DOWN ON CONCRETE SLABS, UNLESS NOTED OTHERWISE.
 - Q. ALL CONCRETE WORK SHALL CONFORM TO ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" AND THAT DESIGN IS BASED ON ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AND ACI 318.1 "CONCRETE TEST REPORTS" WILL BE AVAILABLE ON JOB SITE IN CONSTRUCTION TRAILER.
 - R. ALL FRAMING TO BE IN CONFORMANCE WITH THE NATIONAL FOREST PRODUCTS "MANUAL FOR HOUSE FRAMING."
 - S. FIREBLOCKING SHALL BE PROVIDED TO FORM EFFECTIVE FIRE BARRIERS BETWEEN STORES AND BETWEEN A STORY AND ROOF SPACE. WHERE FIREBLOCKS ARE WOOD, THEY SHALL NOT BE LESS THAN A NOMINAL TWO INCHES IN THICKNESS. FIREPOSTS SHALL BE LOCATED IN EXTERIOR AND INTERIOR WALLS, PARTITIONS AT CEILING AND FLOOR LEVELS.

MECHANICAL, ELECTRICAL, AND PLUMBING

1. ALL PLUMBING CHASES ARE TO EXTEND TO THE UNDERSIDE OF STRUCTURE ABOVE, UNLESS NOTED OTHERWISE.
2. WHERE ELECTRICAL, MECHANICAL, AND/OR OTHER WALL MOUNTED DEVICES OCCUR AT THE SAME LOCATION BUT DIFFERENT HEIGHTS, THEY SHALL BE CENTERED ABOVE EACH OTHER.
3. WATER SERVICE SHALL NOT BE PLACED IN CONCEALED SPACES OUTSIDE OF THE CONDITIONED BUILDING ENVELOPE (BREEZEWAY OR PATIO FLOOR SPACES OR ATTICS).
4. PENETRATIONS AND FIXTURES TO ALIGN VERTICALLY FROM FLOOR TO FLOOR.
5. PROVIDE SUPPORT/REINFORCEMENT TO ACCOMMODATE WALL MOUNTED EQUIPMENT INCLUDING SUPPORT OF FUTURE GRAB BARS IN ALL BATHROOMS AS REQUIRED BY ADA AND/AND FIRE HOUSING ACT.
6. COORDINATE LOCATION AND/OR ELEVATION OF FLOOR DRAINS, REGISTERS, GRILLES, LOUVERS CONVECTORS, PANELS, ETC. WITH MECHANICAL AND ELECTRICAL CONTRACTORS
7. FIRE PROTECTION SYSTEM SHALL BE DESIGNED BY THE FIRE PROTECTION CONTRACTOR.
 - A. PROVIDE COMPLETE DESIGN AND SHOP DRAWINGS FOR FIRE SPRINKLER SYSTEM.
 - B. PROVIDE FOR ALL STATE AND LOCAL SUBMITTALS AND/OR APPROVALS FOR QUICK RESPONSE SPRINKLER SYSTEM.
 - C. ALL SPRINKLER PIPING SUBJECT TO FREEZING SHALL BE DRY-TYPE SYSTEMS WHERE PERMITTED.
8. VENT DRYERS TO OUTSIDE. SEE MECHANICAL DRAWINGS.
9. ALL OUTLETS @ KITCHEN SINK & BATH LAVATORY COUNTERS TO BE GFCI.
10. MECHANICAL DUCTWORK TO BE SEPARATED FROM ELECTRICAL PANELS.
11. SMOKE DETECTORS SHALL NOT BE PLACED IN FRONT OF EXHAUST GRILLS.
12. SMOKE DETECTORS SHALL BE CONTINUOUSLY BE POWERED BY BUILDING ELECTRICAL SYSTEM AND INSTALLED IN ACCORDANCE WITH NFPA AND IBC W/ BATTERY BACK UP.

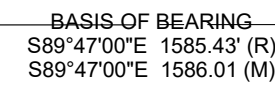
CODE

- THE CONTRACTOR SHALL MEET:
- A. ALL REQUIREMENTS OF THE BUILDING CODE AND FEDERAL, STATE, AND LOCAL LAWS, REGULATIONS, AND REQUIREMENTS, EVEN IF IT REQUIRES LABOR AND/OR MATERIALS NOT INDICATED ON PLANS.
 - B. ALL LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION.
 - C. ALL WORK PERFORMED UNDER, AND IN CONNECTION WITH THESE DRAWINGS SHALL BE IN STRICT COMPLIANCE WITH THE LATEST O.S.H.A. SAFETY AND HEALTH STANDARDS.
 - D. OPERATING FEATURES SHALL COMPLY WITH IBC AND NFPA WHILE BUILDING IS UNDER CONSTRUCTION.
 - E. ALL INSTALLED SIGNAGE TO COMPLY WITH 2010 ADA SECTIONS 216 AND 703.
2. PROVIDE ACCESS PANELS AS MANDATED BY LOCAL GOVERNING AUTHORITIES.
3. PROJECT SITE, BUILDINGS AND UNITS SHALL MEET OR EXCEED THE FAIR HOUSING ACCESSIBILITY GUIDELINES AS PUBLISHED IN THE FEDERAL REGISTER VOLUME 56, NUMBER 44, ON MARCH 6, 1991. THE FOLLOWING ARE ADDRESSED IN MEETING THE GUIDELINES:
- A. ACCESSIBLE ENTRANCES/ ACCESSIBLE ROUTES.
 - B. PUBLIC AND COMMON AREAS MEETING ADA/ANSI AND ADA TITLE II REQUIREMENTS
 - C. USABLE DOORS
 - D. ACCESSIBLE ROUTE INTO AND THROUGH THE COVERED UNIT
 - E. LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTAT, AND ENVIRONMENTAL LOCATIONS
 - F. GRAB BAR REINFORCEMENT LOCATIONS.
 - G. USABLE BATHROOMS AND KITCHENS.
4. ALL HANDICAPPED RAMPS SHALL BE BROOM FINISHED PERPENDICULAR TO SLOPE. SLOPE RAMPS AT 1:12 (MAX).
5. NO FRAMING AT ANY TIME IS TO BE CONCEALED PRIOR TO INSPECTION BY GOVERNING AUTHORITIES
6. WHILE BUILDING IS UNDER CONSTRUCTION, OPERATING FEATURES SHALL COMPLY WITH IBC CHAPTER 33 & NFPA 241.

SITE

1. ALL SITEWORK AND LANDSCAPING SHALL BE ESTABLISHED AND DESIGNED BY OTHERS (THAN THE ARCHITECT).
2. ALL WORK AND EQUIPMENT SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER BEFORE TURNING SAME OVER TO OWNER.
3. STORE MATERIALS IN SPACES DESIGNATED BY OWNER.
4. REFER TO CIVIL DRAWINGS FOR DIMENSIONAL CONTROL PLAN AND GRADING, FIRE HYDRANT LOCATIONS, AND CURB CUTS.
5. REFER TO LANDSCAPING DRAWINGS FOR LOCATION OF SIDEWALKS AND DETAILS.
6. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR SITE DETAILS.
7. REFER TO ELECTRICAL AND LANDSCAPING DRAWINGS FOR EXTERIOR BUILDING LIGHTING AND TRANSFORMER LOCATIONS.

[illegible]



1) ARCHITECT
1" = 30'-0"

FIRE APPARATUS LEGEND

ARROW INDICATES ACCESS POINT FOR FIRE

 FIRE ALARM CONTROL PANEL HATCH REPRESENTS FIRE DE

ROUTE

 HATCH REPRESENTS FIRE DEPARTMENT ACCESS LANE



S EDISON STREET AND 300 S
SALT LAKE CITY, UTAH 84111

A DEVELOPMENT FOR

DATE	DESCRIPTION	INCLUDED
07/14/2023	SCHEMATIC DESIGN	X

REVISION		
DATE	DESCRIPTION	REV

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SCALES AS NOTED ON THIS DRAWING ARE VALID ON THE ORIGINAL DRAWING ONLY. THE DIMENSIONS OF WHICH ARE 36 X 42 INCHES.

ARCHITECTURAL SITE PLAN

DRAWN BY AG
CHECKED BY GK

A00.10

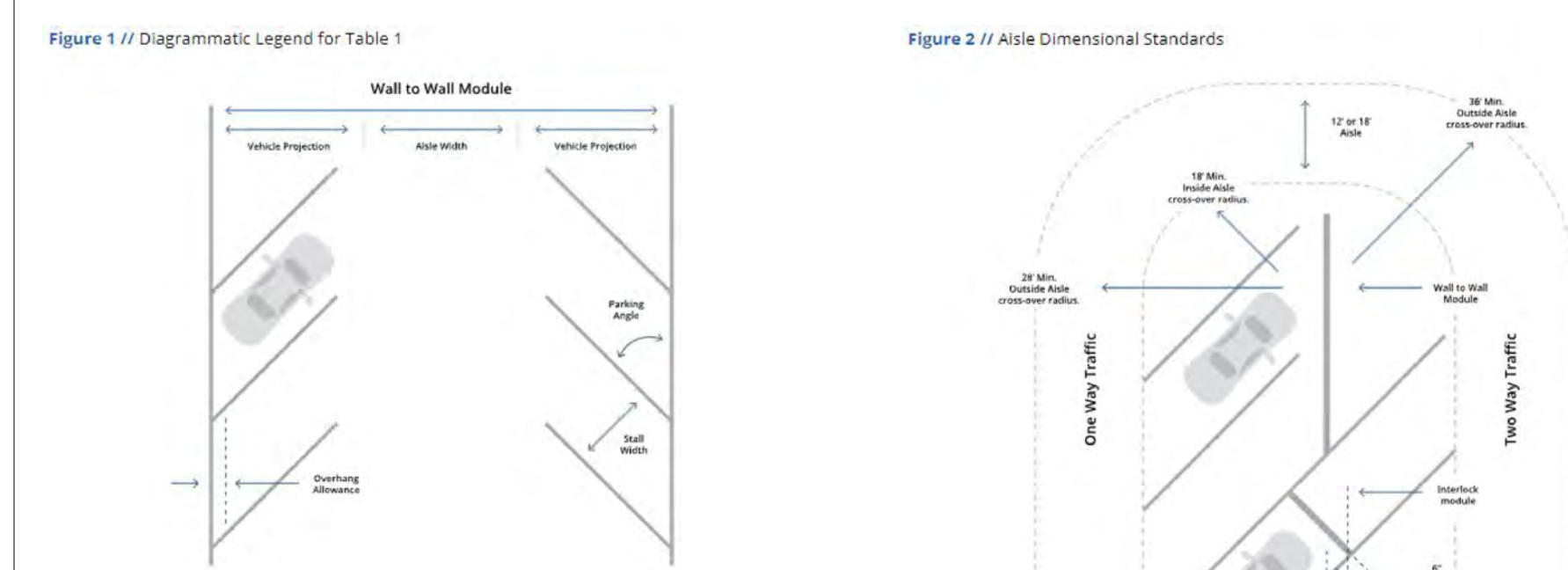


Table 1 // Off-Street parking Dimensions¹

Parking Angle	Stall Width	Vehicle Projection	Aisle Width	Wall-to-Wall Module Width	Interlock Reduction	Overhang Allowance
0	22'0"	8'3"	12'8"	29'2"	0'0"	2'0"
45	8'3"	16'10"	14'11"	48'7"	2'3"	2'0"
50	8'3"	17'3"	13'6"	50'4"	2'0"	2'0"
55	8'3"	17'11"	16'2"	52'0"	1'10"	2'1"
60	8'3"	18'3"	16'10"	53'4"	1'7"	2'2"
65	8'3"	18'6"	17'9"	54'9"	1'4"	2'3"
70	8'3"	18'7"	18'7"	55'9"	1'1"	2'4"
75	8'3"	18'8"	20'1"	57'1"	0'10"	2'5"
80	8'3"	17'8"	24'10"	59'10"	0'0"	2'6"
85	8'3"	16'10"	14'2"	47'10"	2'3"	2'0"
90	8'3"	17'5"	14'9"	49'7"	2'0"	2'0"
95	8'3"	17'11"	13'5"	51'3"	1'10"	2'1"
100	8'3"	18'3"	18'1"	52'7"	1'7"	2'2"
105	8'3"	18'6"	17'0"	54'0"	1'4"	2'3"
110	8'3"	18'7"	17'10"	55'0"	1'1"	2'4"
115	8'3"	18'8"	19'4"	56'4"	0'10"	2'5"
120	8'3"	17'8"	24'1"	59'1"	0'0"	2'6"
125	8'3"	16'10"	13'9"	47'1"	2'3"	2'0"
130	8'3"	17'5"	14'0"	48'10"	2'0"	2'0"
135	8'3"	17'11"	14'8"	50'5"	1'10"	2'1"
140	8'3"	18'3"	13'4"	51'10"	1'7"	2'2"
145	8'3"	18'6"	16'3"	53'3"	1'4"	2'3"
150	8'3"	18'7"	17'1"	54'3"	1'1"	2'4"
155	8'3"	18'8"	18'7"	55'7"	0'10"	2'5"
160	8'3"	17'8"	23'4"	58'4"	0'0"	2'6"
165	8'3"	16'10"	12'8"	46'4"	2'3"	2'0"
170	8'3"	17'5"	13'3"	48'1"	2'0"	2'0"
175	8'3"	17'11"	13'11"	49'9"	1'10"	2'1"
180	8'3"	18'3"	14'7"	51'7"	1'7"	2'2"
185	8'3"	18'6"	15'8"	52'8"	1'4"	2'3"
190	8'3"	18'7"	16'4"	53'8"	1'1"	2'4"
195	8'3"	18'8"	17'10"	54'10"	0'10"	2'5"
200	8'3"	17'8"	22'7"	57'7"	0'0"	2'6"

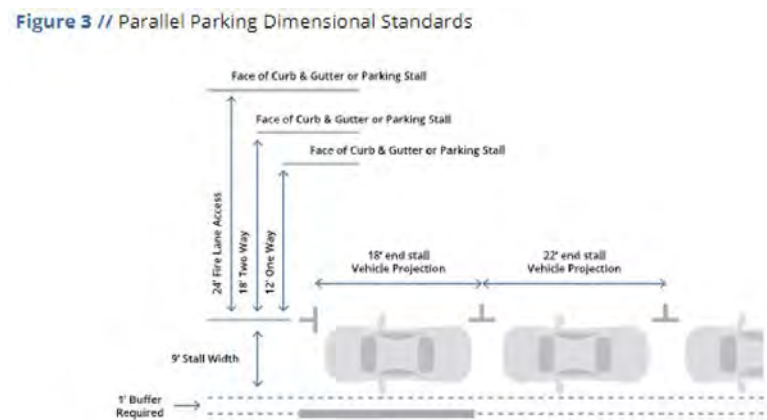
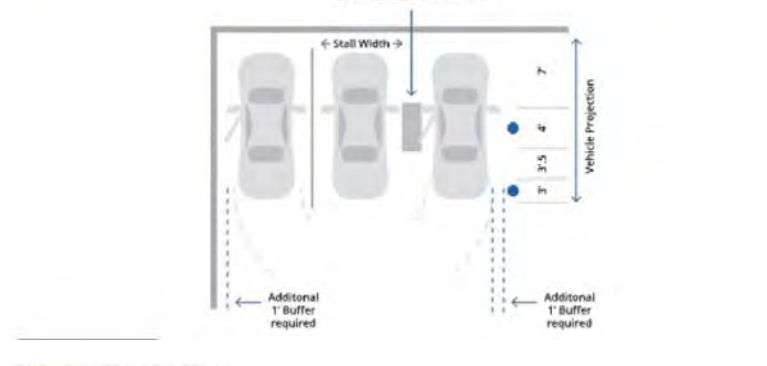


Figure 4 // Dimensional Standards for Parking Adjacent to Columns or Side Walls



GROSS AREA PER OVERALL....

Level	Area
BASEMENT LEVEL	37261 SF
LEVEL 1	49436 SF
LEVEL 2	41253 SF
LEVEL 3	50121 SF
LEVEL 4	40483 SF
LEVEL 5	40500 SF
LEVEL 6	40500 SF
LEVEL 7	40484 SF
Grand total	340039 SF

GROSS BLDG AREAS PER LEVEL

BUILDING	Area Use	Area
BASEMENT LEVEL		
BLDG 1000	CIRCULATION	340 SF
BLDG 1000	CIRCULATION - VERTICAL	561 SF
BLDG 1000	RETAIL	1783 SF
BLDG 1000	SUPPORT	2684 SF
LEVEL 1		
BLDG 1000	AMENITIES - INTERIOR	3732 SF
BLDG 1000	CIRCULATION	1173 SF
BLDG 1000	CIRCULATION - VERTICAL	1260 SF
BLDG 1000	RETAIL	8863 SF
BLDG 1000	SUPPORT	1614 SF
BLDG 1000	SUPPORT	16642 SF
LEVEL 2		
BLDG 1000	CIRCULATION	1297 SF
BLDG 1000	CIRCULATION - VERTICAL	900 SF
BLDG 1000	RETAIL	3636 SF
BLDG 1000	SUPPORT	846 SF
BLDG 1000	SUPPORT	6680 SF
LEVEL 3		
BLDG 1000	AMENITIES - EXTERIOR	9567 SF
BLDG 1000	AMENITIES - INTERIOR	4315 SF
BLDG 1000	BALCONY	718 SF
BLDG 1000	CIRCULATION	4648 SF
BLDG 1000	CIRCULATION - VERTICAL	1264 SF
BLDG 1000	RESIDENTIAL	28946 SF
BLDG 1000	SUPPORT	663 SF
BLDG 1000	SUPPORT	50121 SF
LEVEL 4		
BLDG 1000	BALCONY	709 SF
BLDG 1000	CIRCULATION	4318 SF
BLDG 1000	CIRCULATION - VERTICAL	1244 SF
BLDG 1000	RESIDENTIAL	33550 SF
BLDG 1000	SUPPORT	663 SF
BLDG 1000	SUPPORT	40483 SF
LEVEL 5		
BLDG 1000	BALCONY	354 SF
BLDG 1000	CIRCULATION	4318 SF
BLDG 1000	CIRCULATION - VERTICAL	1260 SF
BLDG 1000	RESIDENTIAL	33905 SF
BLDG 1000	SUPPORT	663 SF
BLDG 1000	SUPPORT	40500 SF
LEVEL 6		
BLDG 1000	BALCONY	354 SF
BLDG 1000	CIRCULATION	4318 SF
BLDG 1000	CIRCULATION - VERTICAL	1260 SF
BLDG 1000	RESIDENTIAL	32613 SF
BLDG 1000	SUPPORT	663 SF
BLDG 1000	SUPPORT	40500 SF
LEVEL 7		
BLDG 1000	AMENITIES - EXTERIOR	366 SF
BLDG 1000	AMENITIES - INTERIOR	586 SF
BLDG 1000	BALCONY	709 SF
BLDG 1000	CIRCULATION	4304 SF
BLDG 1000	CIRCULATION - VERTICAL	1243 SF
BLDG 1000	RESIDENTIAL	32613 SF
BLDG 1000	SUPPORT	663 SF
BLDG 1000	SUPPORT	40484 SF
Grand total		238097 SF

GROSS PARKING AREAS PER LEVEL

BUILDING	Area Use	Area
BASEMENT LEVEL		
PARKING	AMENITIES - INTERIOR	606 SF
PARKING	CIRCULATION - VERTICAL	379 SF
PARKING	PARKING	32026 SF
PARKING	SUPPORT	1565 SF
PARKING	SUPPORT	34576 SF
LEVEL 1		
PARKING	AMENITIES - INTERIOR	357 SF
PARKING	CIRCULATION	101 SF
PARKING	CIRCULATION - VERTICAL	380 SF
PARKING	PARKING	31855 SF
PARKING	PARKING	32794 SF
LEVEL 2		
PARKING	AMENITIES - INTERIOR	606 SF
PARKING	CIRCULATION - VERTICAL	502 SF
PARKING	PARKING	33464 SF
PARKING	PARKING	34572 SF
Grand total		101942 SF

J FISHER COMPANY - EDISON STREET

DATE: 7/12/2023

UNIT MIX		BEDS		AREA			B 1 2 3 4 5 6 7								TOTAL UNITS	TOTAL BEDS	BUILDING AREA		%
UNIT TYPE	DESCRIPTION			HEATED*	BALCONY	GROSS**											HEATED*	GROSS*	
STUDIO UNITS																			
UNIT S1	STUDIO	1	542	0	542 SF	0	0	0	6	6	6	6	6	6	30	30	16,260	16,260	15.23%
UNIT S2	STUDIO	1	632	0	632 SF	0	0	0	2	2	2	2	2	2	10	10	6,320	6,320	5.08%
TOTALS															40	40	22,580	22,580	20.30%
1 BEDROOM UNITS																			
UNIT A1	1 BEDROOM / 1 BATH	1	723	0	723 SF	0	0	0	11	9	9	9	9	9	47	47	33,981	33,981	23.86%
UNIT A2	1 BEDROOM / 1 BATH	1	789	85	874 SF	0	0	0	8	8	8	8	8	8	40	40	31,560	34,960	20.30%
TOTALS															87	87	65,541	68,941	44.16%
1 BEDROOM DEN UNITS																			
UNIT A3	1 BEDROOM / 1 BATH + DEN	1	865	0	865 SF	0	0	0	2	3	3	3	3	3	14	14	12,110	12,110	7.11%
TOTALS															14	14	12,110	12,110	7.11%
2 BEDROOM UNITS																			
UNIT B1	2 BEDROOM / 2 BATH	2	946	0	946 SF	0	0	0	0	1	1	1	0	0	3	6	2,838	2,838	1.52%
UNIT B2	2 BEDROOM / 2 BATH	2	1,084	0	1,084 SF	0	0	0	4	8	8	8	8	8	36	72	39,024	39,024	18.27%
UNIT B3	2 BEDROOM / 2 BATH	2	1,088	0	1,088 SF	0	0	0	2	2	2	0	0	0	6	12	6,528	6,528	3.05%
UNIT B4	2 BEDROOM / 2 BATH	2	1,164	0	1,164 SF	0	0	0	1	1	1	1	1	1	5	10	5,820	5,820	2.54%
UNIT B5	2 BEDROOM / 2 BATH	2	1,066	0	1,066 SF	0	0	0	1	1	1	0	0	0	3	6	3,198	3,198	1.52%
UNIT B6	2 BEDROOM / 2 BATH	2	1,654	0	1,654 SF	0	0	0	0	0	0	2	0	0	2	4	3,308	3,308	1.02%
UNIT B7	2 BEDROOM / 2 BATH	2	1,066	0	1,066 SF	0	0	0	0	0	0	1	0	0	1	2	1,066	1,066	0.51%
TOTALS															56	112	61,782	61,782	28.43%
TOTAL UNITS							0	0	0	37	41	41	37		197	253	162,013	165,413	100.00%
UNIT AVERAGE																	822	SF	

STUDIO UNITS	0	0	0	8	8	8	8	8
1 BEDROOM UNITS	0	0	0	19	17	17	17	17
1 BEDROOM DEN UNITS	0	0	0	2	3	3	3	3
2 BEDROOM UNITS	0	0	0	16	26	26	26	18

BEDS	0	0	0	45	54	54	54	46	BED AVERAGE	640	SF
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*HEATED AREA IS CALCULATED FROM EXTERIOR FACE OF STUD
**GROSS AREA INCLUDES HEATED AREA PLUS BALCONY (BALCONY IS CALCULATED FROM EXTERIOR FACE OF WALL TO EXTERIOR FACE OF BALCONY...)

PARKING COUNT LEGEND

	BIKE PARKING SHORT TERM	BIKE PARKING LONG TERM	STANDARD 9'0" x 18'0"	COMPACT 8'0" x 18'0"	ELECTRIC STANDARD VEHICLE	ELECTRIC VAN - HC VEHICLE	STANDARD HC 9'0" x 18'0" VAN - HC 9'0" x 18'0" VAN - HC 9'0" x 18'0" ABLE	TOTAL VEHICLES PER FLOOR
BASEMENT	-	-	75	-	2	-	1	78
LEVEL 1	-	35	66	-	6	-	1	75
LEVEL 2	8	58	84	-	2	3	-	89
LEVEL 3	-	-	-	-	-	-	-	-
LEVEL 4	-	-	-	-	-	-	-	-
LEVEL 5	-	-	-	-	-	-	-	-
LEVEL 6	-	-	-	-	-	-	-	-
LEVEL 7	-	-	-	-	-	-	-	-
PARKING TYPE TOTAL	8	93	225	-	10	3	1	342
NOTES:								
ENTIRE LENGTH OF ACCESSIBLE PARKING SPACES AND ADJACENT ACCESSIBLE SURFACES FINISH TO HAVE A MAXIMUM SLOPE AND CROSS OF 2%.								
COORDINATE WITH PLUMBING AND PRECAST DESIGNER FOR ALL AREA DRAINS (AD) AND ROOF WATER LEADERS (RWL).								
PARKING PROVIDED FOR BICYCLES								

LIFE SAFETY PLAN LEGEND

AMENITIES - EXTERIOR	CIRCULATION	RESIDENTIAL
AMENITIES - INTERIOR	CIRCULATION - VERTICAL	RETAIL
BALCONY	PARKING	SUPPORT

GROSS AREA PER LEVEL 7

Area Use	Area
AMENITIES - EXTERIOR	366 SF
AMENITIES - INTERIOR	586 SF
BALCONY	709 SF
CIRCULATION	4304 SF
CIRCULATION - VERTICAL	1243 SF
RESIDENTIAL	32613 SF
SUPPORT	663 SF
Grand total	40484 SF

GROSS AREA PER LEVEL 4-6

Area Use	Area
BALCONY	709 SF
CIRCULATION	4318 SF
CIRCULATION - VERTICAL	1244 SF
RESIDENTIAL	33550 SF
SUPPORT	663 SF
Grand total	40483 SF

GROSS AREA PER LEVEL 3

Area Use	Area
AMENITIES - EXTERIOR	9567 SF
AMENITIES - INTERIOR	4315 SF
CIRCULATION - VERTICAL	718 SF
BALCONY	4648 SF
CIRCULATION	1264 SF
CIRCULATION - VERTICAL	28946 SF
SUPPORT	663 SF
Grand total	50121 SF

GROSS AREA PER LEVEL 2

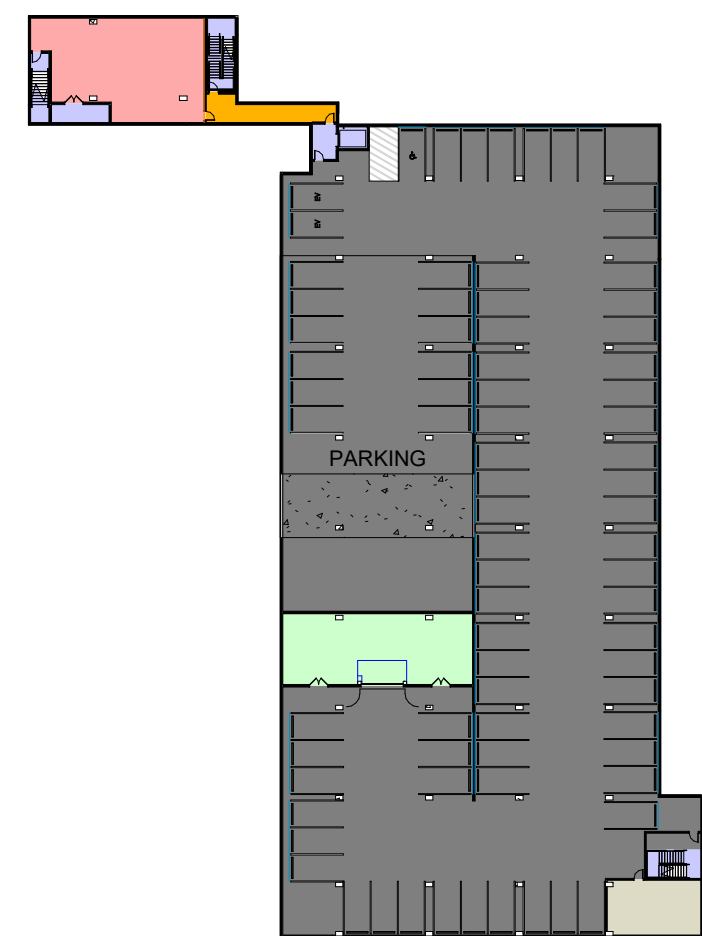
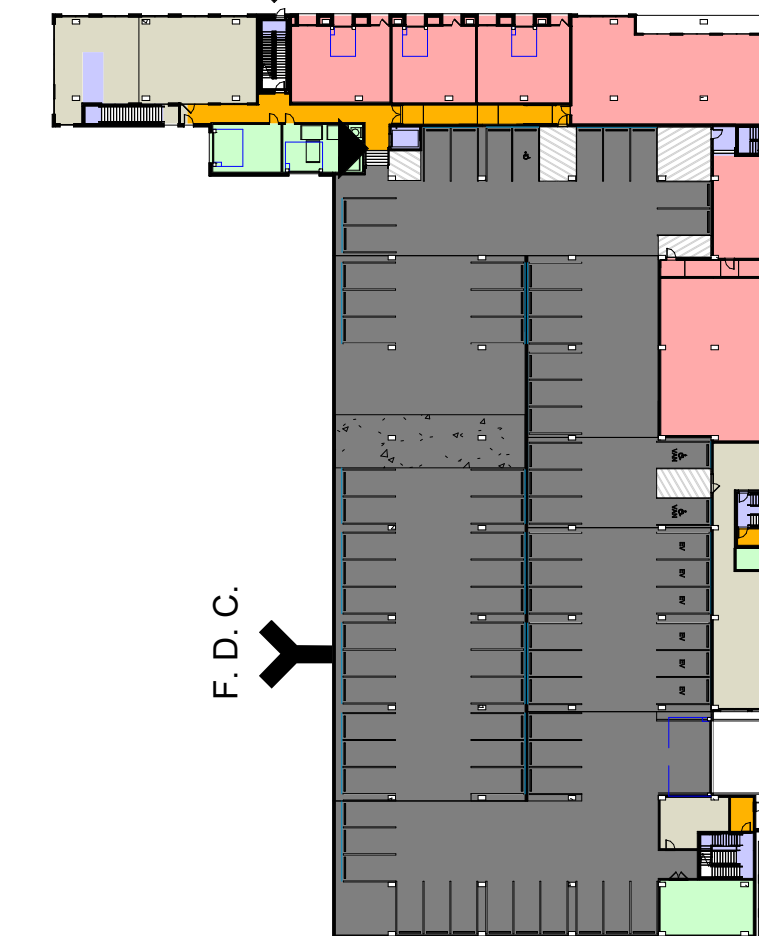
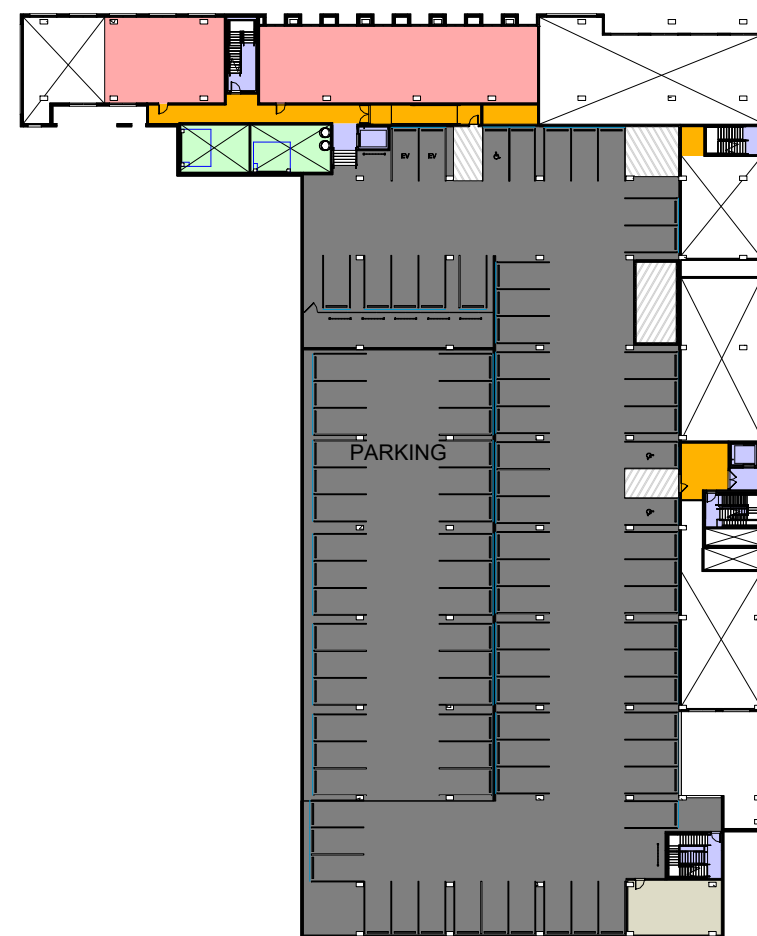
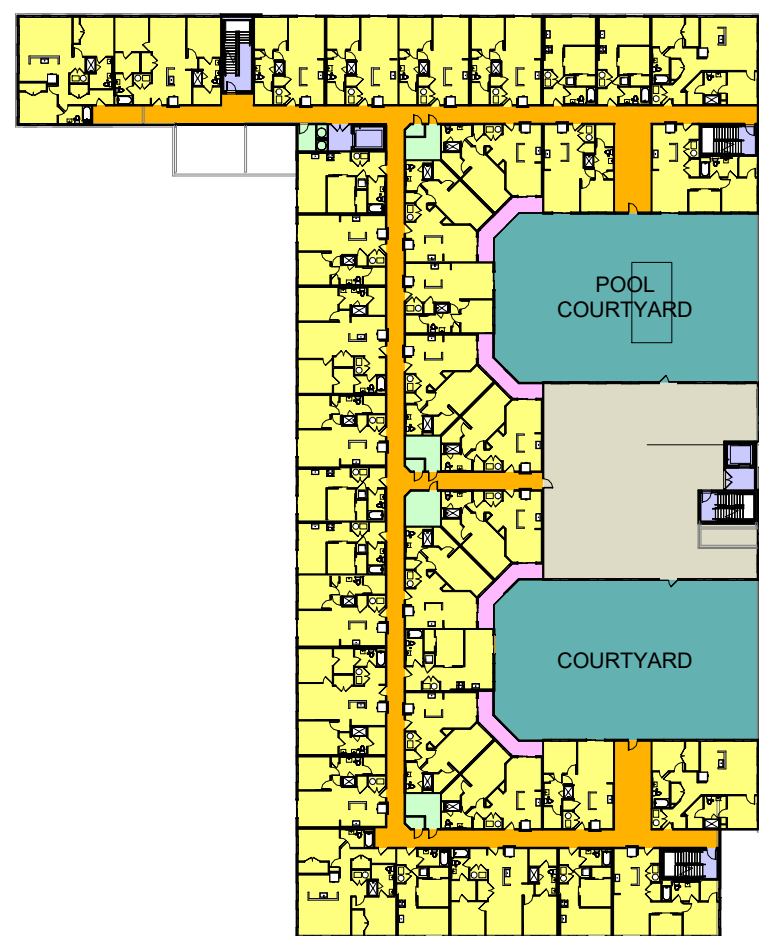
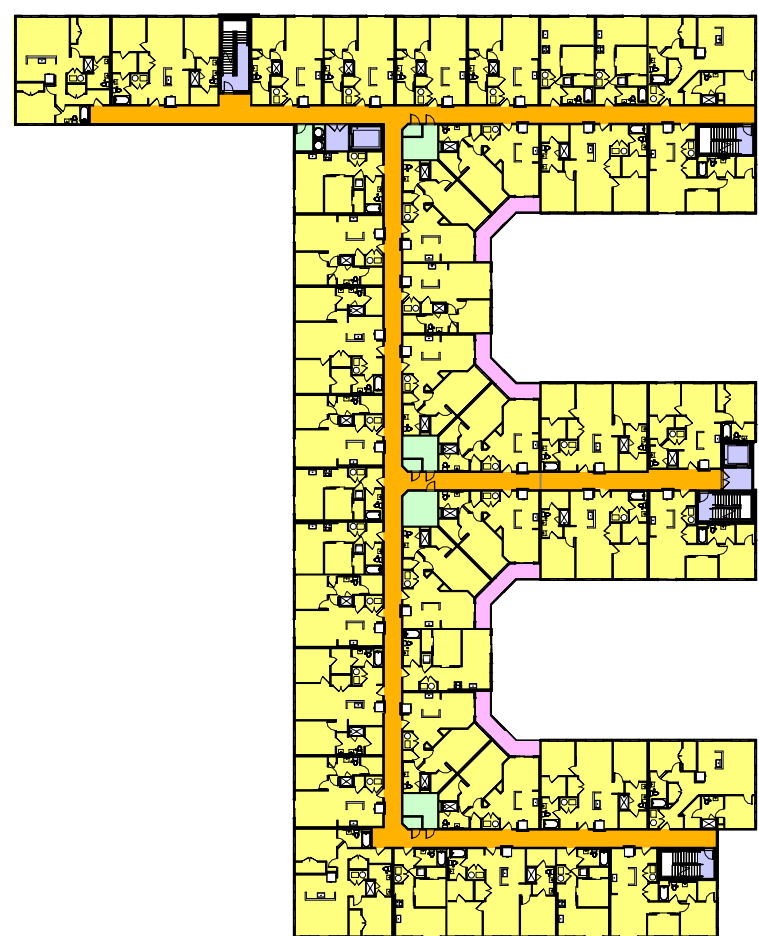
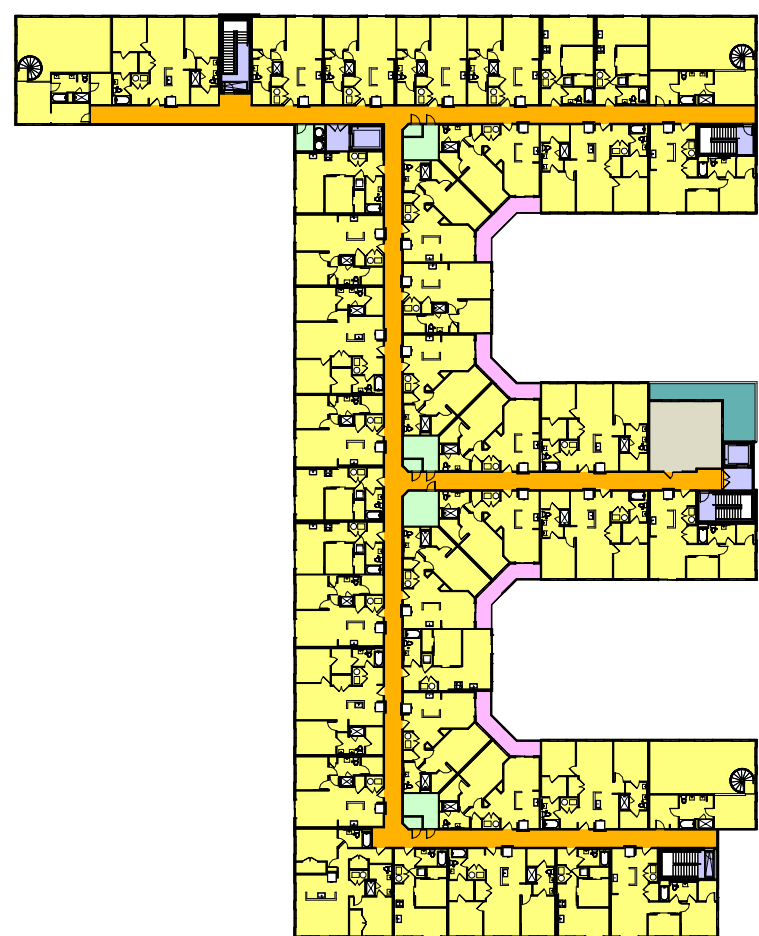
Area Use	Area
AMENITIES - INTERIOR	606 SF
CIRCULATION	1297 SF
CIRCULATION - VERTICAL	1401 SF
PARKING	33464 SF
RETAIL	3636 SF
SUPPORT	846 SF
Grand total	41253 SF

GROSS AREA PER LEVEL 1

Area Use	Area
AMENITIES - INTERIOR	4090 SF
CIRCULATION	1273 SF
CIRCULATION - VERTICAL	1640 SF
PARKING	31855 SF
RETAIL	8863 SF
SUPPORT	1614 SF
Grand total	49436 SF

GROSS AREA PER BASEMENT LEVEL

Area Use	Area
AMENITIES - INTERIOR	606 SF
CIRCULATION	340 SF
CIRCULATION - VERTICAL	940 SF
PARKING	32026 SF
RETAIL	1783 SF
SUPPORT	1565 SF
Grand total	37261 SF



BUILDING CODE DATA		
BUILDING IDENTIFICATION :		
BUILDING OCCUPANCY CLASSIFICATION :		
AREA ALLOWED (PER 506.2.3):		
SQ.FT. INCREASE ALLOWED BY AREA MODIFICATIONS (PER 506)		
AREA ALLOWED PER FLOOR (PER 506.2) :		
AREA PROVIDED		
TYPE OF CONSTRUCTION :		
BUILDING HEIGHT ALLOWANCE (PER 504.3):		
BUILDING HEIGHT PROVIDED :		
NUMBER OF STORIES ALLOWED (PER 504.4):		
NUMBER OF STORIES PROVIDED :		
FIRE RATING :		
FIRE WALLS (PER 706.4):		
SHAFT ENCLOSURES GREATER THAN 4 STORIES (PER 713.4):		
MIXED OCCUPANCY SEPARATION (PER 508.4):		
INTERIOR BEARING WALLS (PER 601):		
INTERIOR NON-BEARING WALLS (PER 601):		
EXT. BEARING WALLS (PER 601):		
EXT. NON-BEARING WALLS: GREATER THAN 30' SEPARATION (PER 602):		
EXT. NON-BEARING WALLS: LESS THAN 30' SEPARATION (PER 602):		
CORRIDOR WALLS (PER 1020.1):		
ELEVATOR SHAFT WALLS (PER 713.4):		
REFUSE CHUTE SHAFT WALLS AND TERMINATION ROOM (PER 713.13):		
REFUSE ACCESS AND ROOMS (PER 713.13):		
FLOOR / CEILING CONSTRUCTION (PER 601):		
ROOF CEILING CONSTRUCTION (PER 601):		
PRIMARY STRUCTURAL FRAME (PER 601):		
STAIRS :		
STAIR WIDTH (PER 1009.1):		
ELEVATOR LOBBIES		
REQUIRED:		
FLOOR LOCATIONS:		
FIRE PROTECTION SYSTEM		
SPRINKLER SYSTEM PROVIDED (PER 903.3.1.1):		
STANDPIPES REQUIRED (PER 905):		
FIRE EXTINGUISHERS (PER 906):		
EXITS REQUIRED		
BUILDING EXITS (PER 1021.1):		
HORIZONTAL EXITS (PER 1025):		
TRAVEL DISTANCE (PER 1017.2):		
DEAD END CORRIDOR (PER 1018.4 EXCEPTION 2):		
UNITS OF EGRESS (PER 1005.1):		
ROOF ACCESS		
ROOF ACCESS PROVIDED:		
ATTIC VENTILATION		
ATTIC VENTILATION REQUIRED (PER 1202.2):		
ATTIC VENTILATION TYPE:		

BUILDING CODE DATA		
BUILDING IDENTIFICATION :		
BUILDING OCCUPANCY CLASSIFICATION :		
AREA ALLOWED (PER 506.2.3):		
SQ.FT. INCREASE ALLOWED BY AREA MODIFICATIONS (PER 506)		
AREA ALLOWED PER FLOOR (PER 506.2) :		
AREA PROVIDED		
TYPE OF CONSTRUCTION :		
BUILDING HEIGHT ALLOWANCE (PER 504.3):		
BUILDING HEIGHT PROVIDED :		
NUMBER OF STORIES ALLOWED (PER 504.4):		
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FIRE RATING :		
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SHAFT ENCLOSURES GREATER THAN 4 STORIES (PER 713.4):		
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REFUSE ACCESS AND ROOMS (PER 713.13):		
FLOOR / CEILING CONSTRUCTION (PER 601):		
ROOF CEILING CONSTRUCTION (PER 601):		
PRIMARY STRUCTURAL FRAME (PER 601):		
STAIRS :		
STAIR WIDTH (PER 1009.1):		
ELEVATOR LOBBIES		
REQUIRED:		
FLOOR LOCATIONS:		
FIRE PROTECTION SYSTEM		
SPRINKLER SYSTEM PROVIDED (PER 903.3.1.1):		
STANDPIPES REQUIRED (PER 905):		
FIRE EXTINGUISHERS (PER 906):		
EXITS REQUIRED		
BUILDING EXITS (PER 1021.1):		
HORIZONTAL EXITS (PER 1025):		
TRAVEL DISTANCE (PER 1017.2):		
DEAD END CORRIDOR (PER 1018.4 EXCEPTION 2):		
UNITS OF EGRESS (PER 1005.1):		
ROOF ACCESS		
ROOF ACCESS PROVIDED:		
ATTIC VENTILATION		
ATTIC VENTILATION REQUIRED (PER 1202.2):		
ATTIC VENTILATION TYPE:		

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A DEVELOPMENT FOR

ISSUE
DATE
07/14/2023

DESCRIPTION
SCHEMATIC DESIGN

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SHEET NAME

CODE DATA
SHEET

JOB NUMBER: 2249901

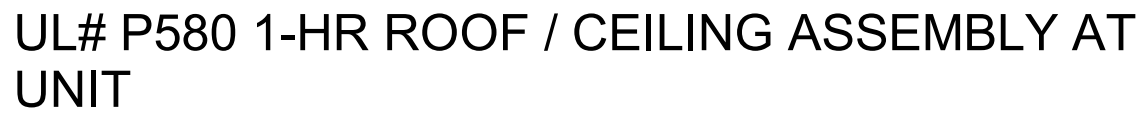
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Author

CHECKED BY
GK

A00.60

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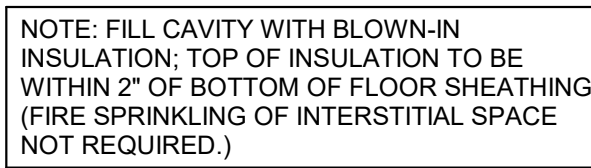
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FCA 5



FCA 4

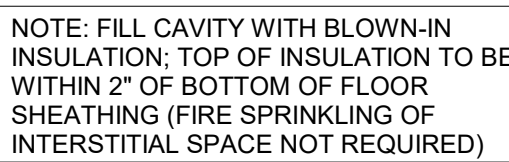


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ASSEMBLY BELOW 5TH FLOOR AMENITY

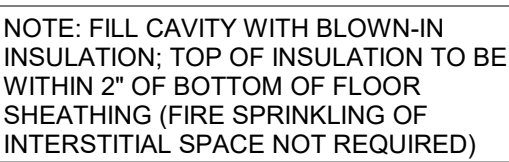
FCA 8



FCA 3



FCA 2



FCA 1

UL# L528, 1-HR FLOOR / CEILING ASSEMBLY @
UNIT

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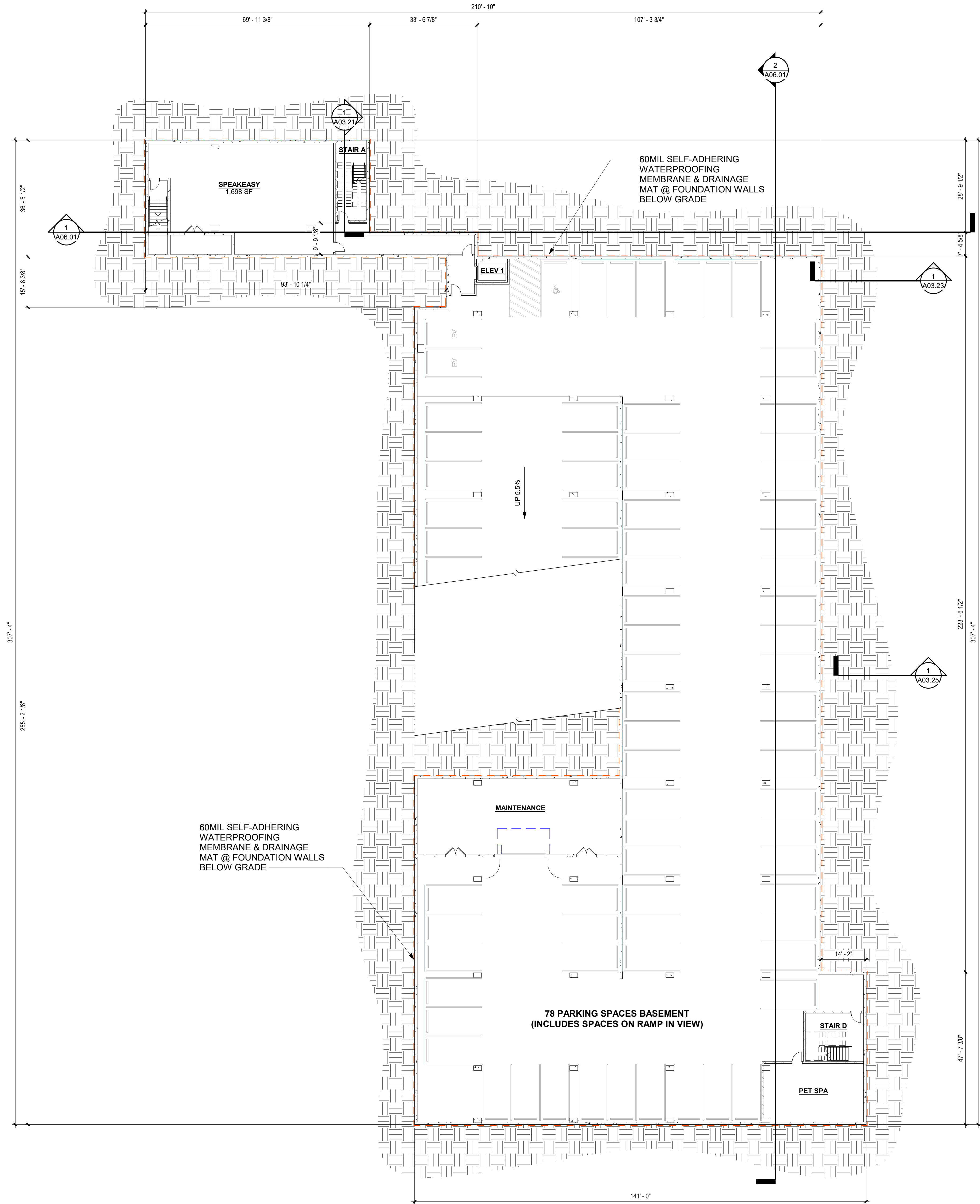
SHEET NAME:

OVERALL PLAN
- BASEMENT

JOB NUMBER: 2249901

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CHECKED BY GK

A02.00



1 OVERALL BUILDING PLAN - BASEMENT LEVEL
1/16" = 1'-0"

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JOB NUMBER: 2249901

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A02.10



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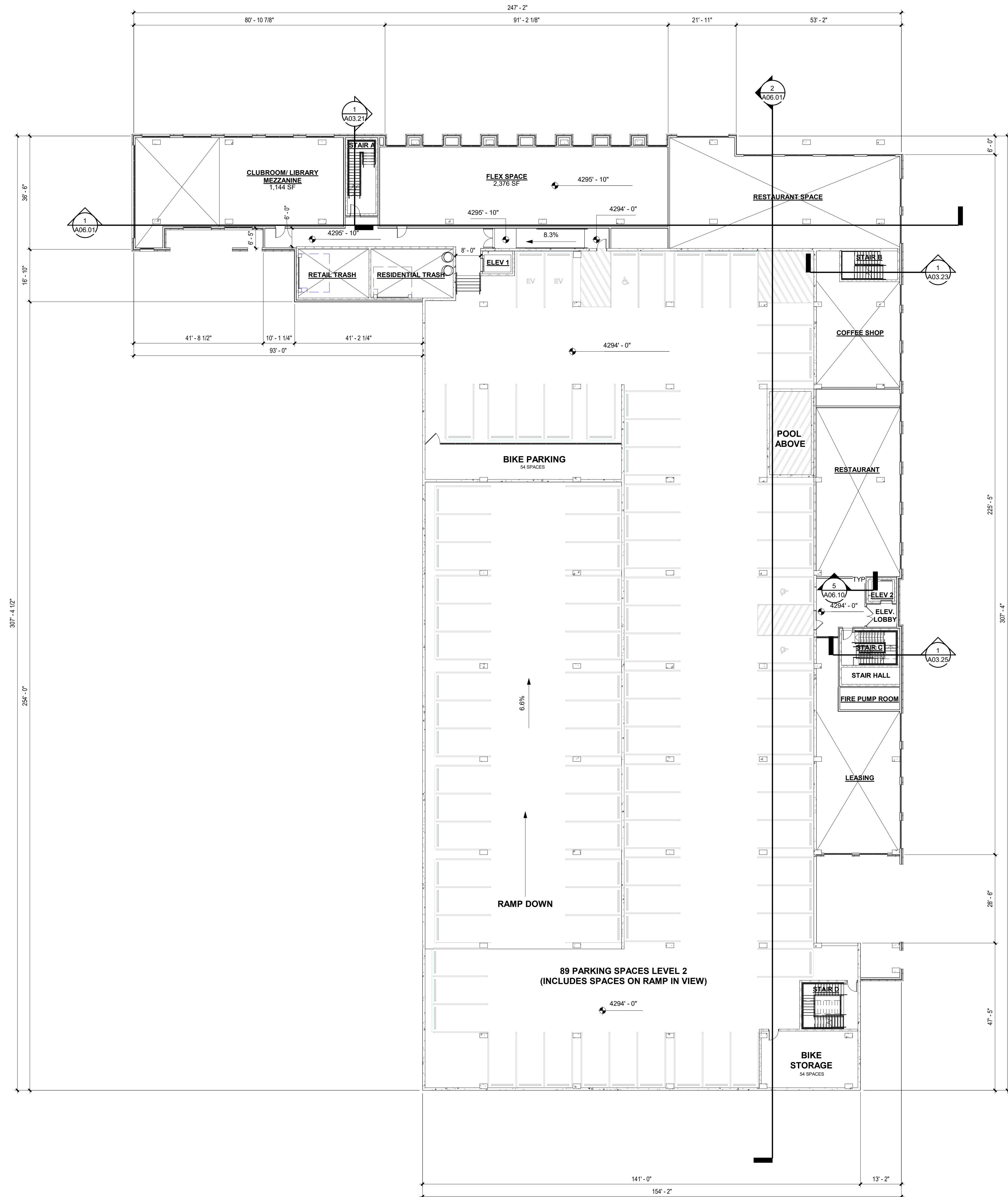
SCALES AS NOTED ON THIS DRAWING ARE VALID ON THE ORIGINAL DRAWING ONLY. THE DIMENSIONS OF WHICH ARE 30 X 42 INCHES.

OVERALL PLAN
- LEVEL 2

JOB NUMBER: 2249901

DRAWN BY AG
CHECKED BY GK

A02.20



1 OVERALL BUILDING PLAN - LEVEL 2
1/16" = 1'-0"

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SHEET NAME

OVERALL PLAN
- LEVEL 3

JOB NUMBER: 2249901

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A02.30



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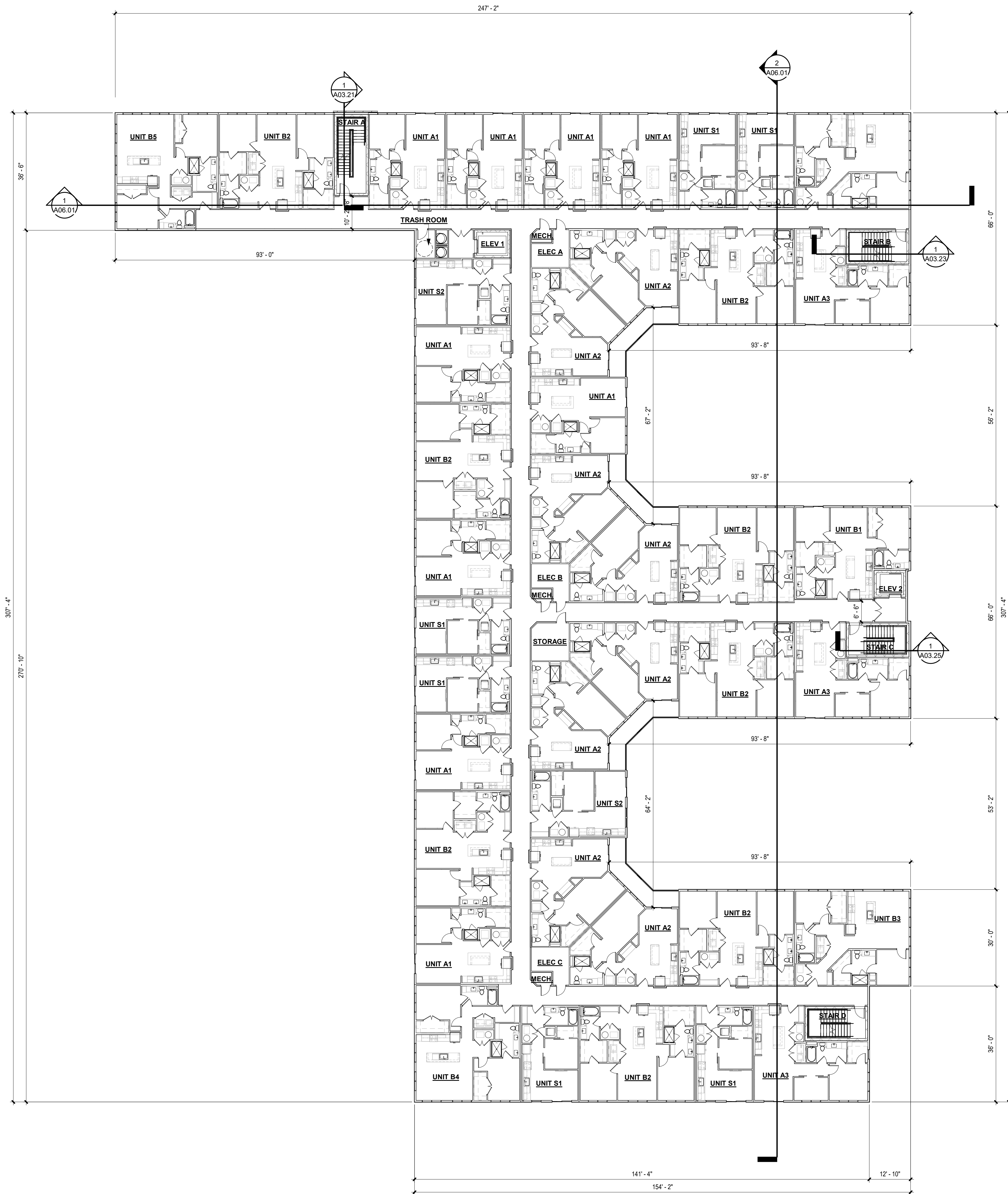
SHEET NAME:

OVERALL PLAN
- LEVEL 4

JOB NUMBER: 2249901

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1 OVERALL BUILDING PLAN - LEVEL 4
1/16" = 1'-0"

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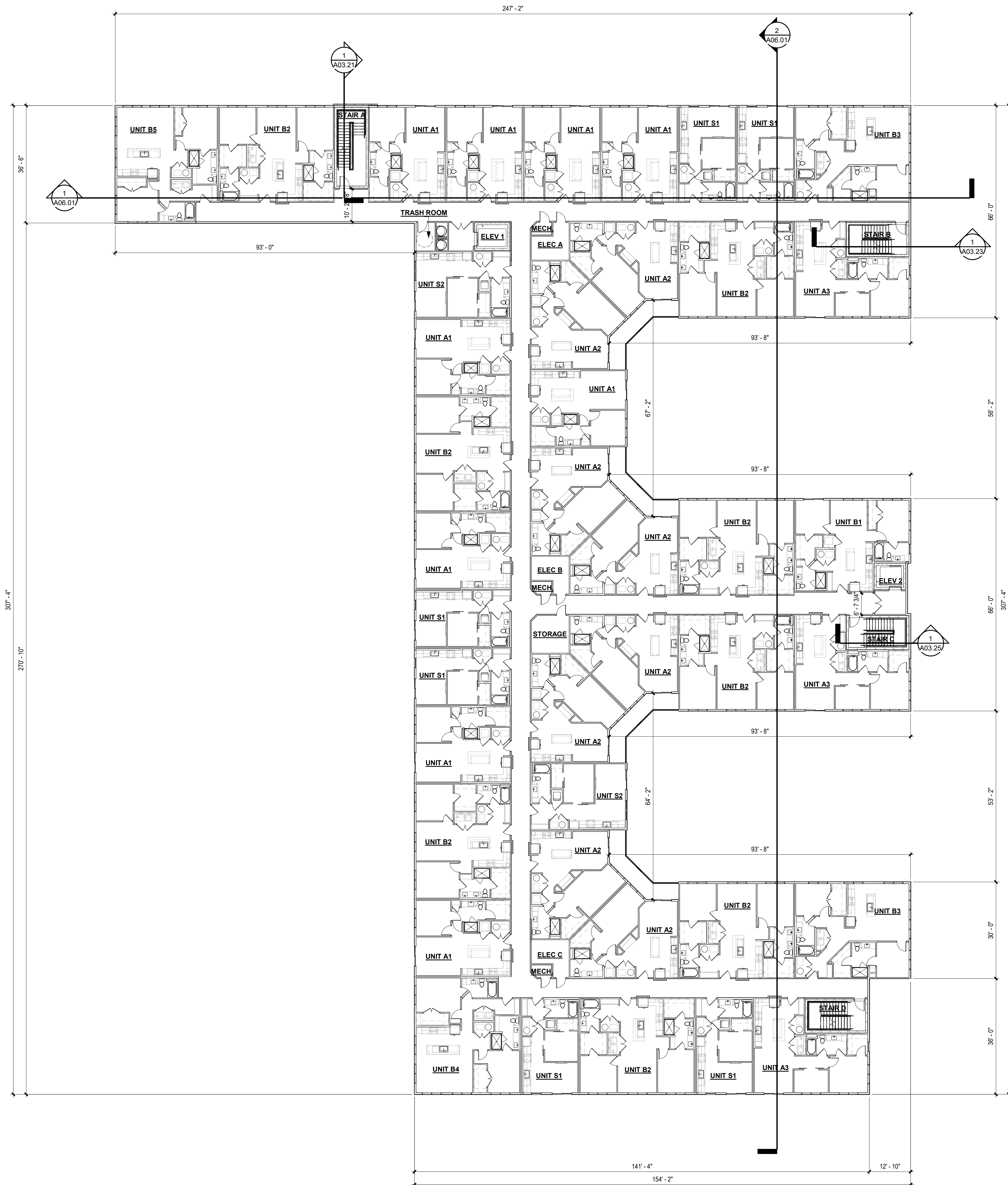
SHEET NAME:

OVERALL PLAN
- LEVEL 5

JOB NUMBER: 2249901

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A02.50



1 OVERALL BUILDING PLAN - LEVEL 5
1/16" = 1'-0"

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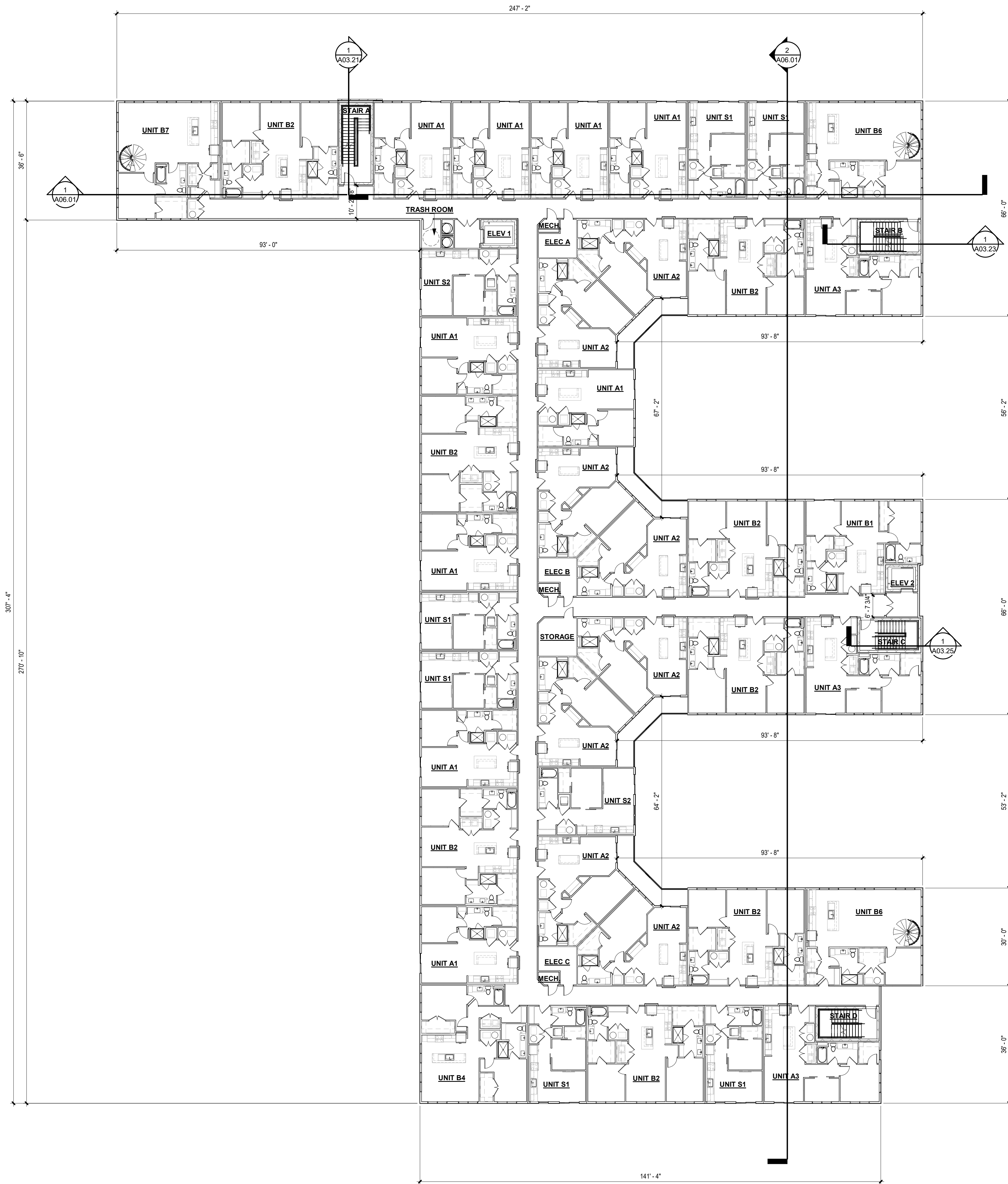
SHEET NAME:

OVERALL PLAN
- LEVEL 6

JOB NUMBER: 2249901

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1 OVERALL BUILDING PLAN - LEVEL 6
1/16" = 1'-0"

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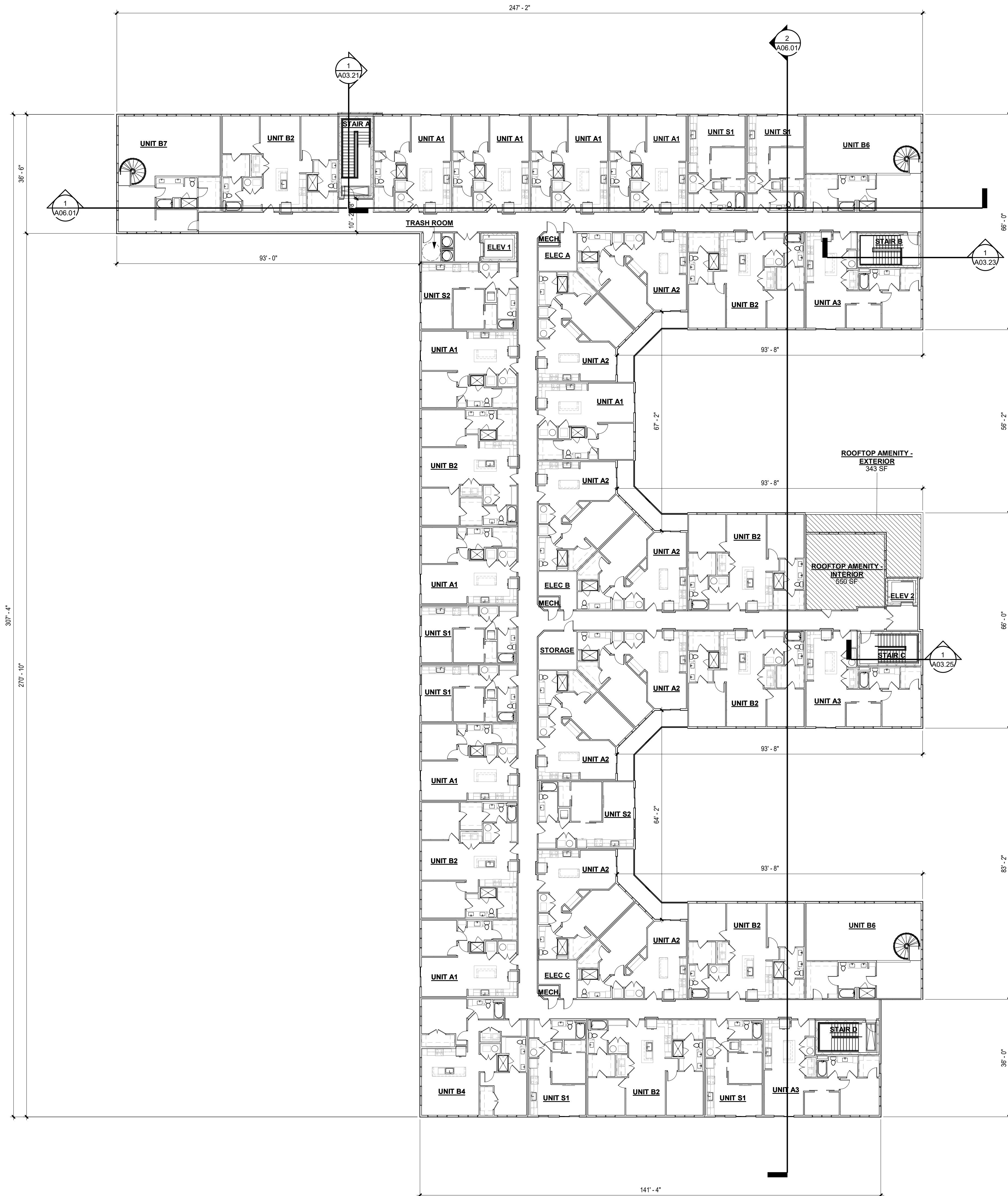
SHEET NAME:

OVERALL PLAN
- LEVEL 7

JOB NUMBER: 2249901

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A02.70



1 OVERALL BUILDING PLAN - LEVEL 7
1/16" = 1'-0"

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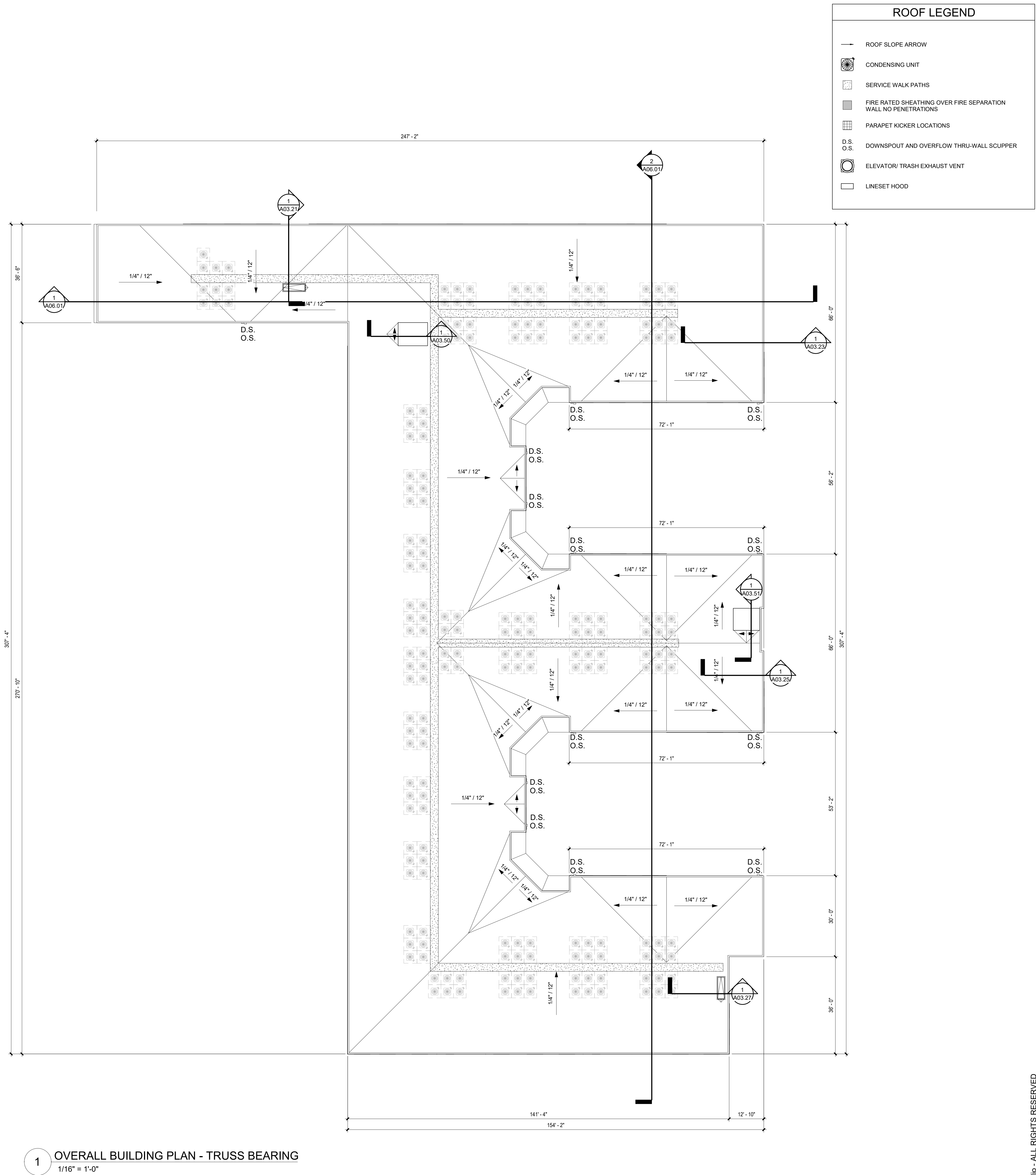
SHEET NAME:

OVERALL PLAN
- ROOF

JOB NUMBER: 2249901

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1 OVERALL BUILDING PLAN - TRUSS BEARING
1/16" = 1'-0"



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3D EXTERIOR
VIEWS

OB NUMBER: 2249901

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Author	Checker

A05.01

EXTERIOR MATERIAL LEGEND													RETURN ALL MATERIALS AND COLORS TO INSIDE CORNERS.
M-01	BRICK COLOR:CHIPPEWA	M-03	BRICK COLOR:BLACK ICE	CPL-02	CEMENTITIOUS PANEL COLOR:SPECIAL GREY	CTB	CEMENTITIOUS TRIM BOARD COLOR:SUMMER WHEAT	SF	STOREFRONT COLOR:DARK BRONZE	MM	MISCELLANEOUS METAL COLOR:DARK BRONZE		
M-02	BRICK COLOR:COUNTRY MANOR	CPL-01	CEMENTITIOUS PANEL COLOR:DARK GREY	CPL-03	CEMENTITIOUS PANEL COLOR:PERLE NOIR	CB01	CEMENTITIOUS BOARD AND BATTEN COLOR:WHITE	RA-01	ALUMINIUM RAILING COLOR:DARK BRONZE				



2 - NORTH ELEVATION
1/16" = 1'-0"



4 - SOUTH ELEVATION
1/16" = 1'-0"

SEE OVERALL SECTIONS FOR FLOOR TO FLOOR HEIGHTS AND LEVELS

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DRAWN BY

EL

CHECKED BY

GK

A05.02

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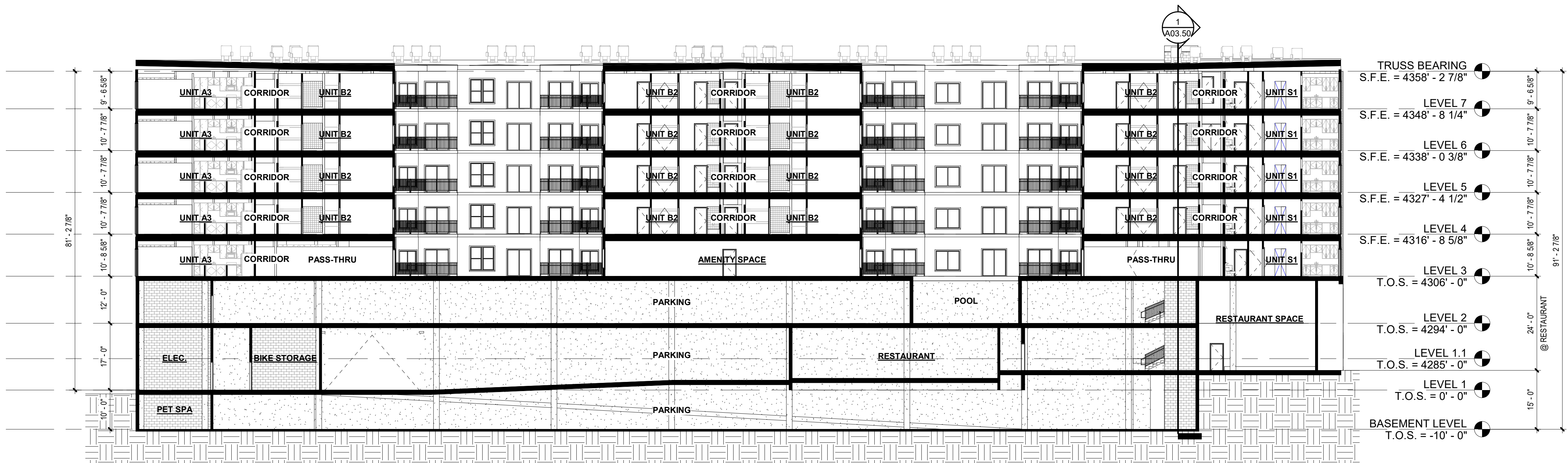
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JOB NUMBER: 2249901

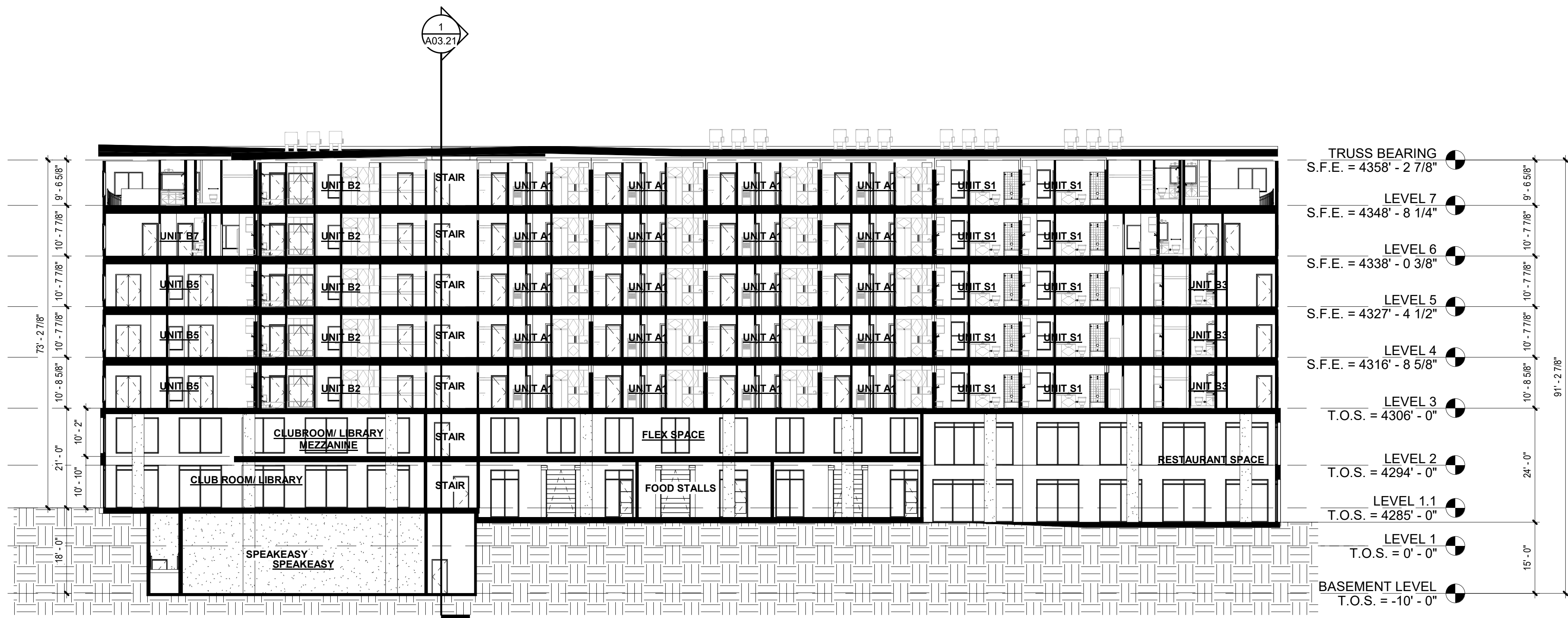
DRAWN BY EL
CHECKED BY GK

A05.03

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2 OVERALL BUILDING SECTION 2
1/16" = 1'-0"



1 OVERALL BUILDING SECTION 1
1/16" = 1'-0"

ISSUE	DATE	DESCRIPTION	APPROVED
01/14/2023		SCHEMATIC DESIGN	X

REVISION	DATE	DESCRIPTION	REV
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DATE:

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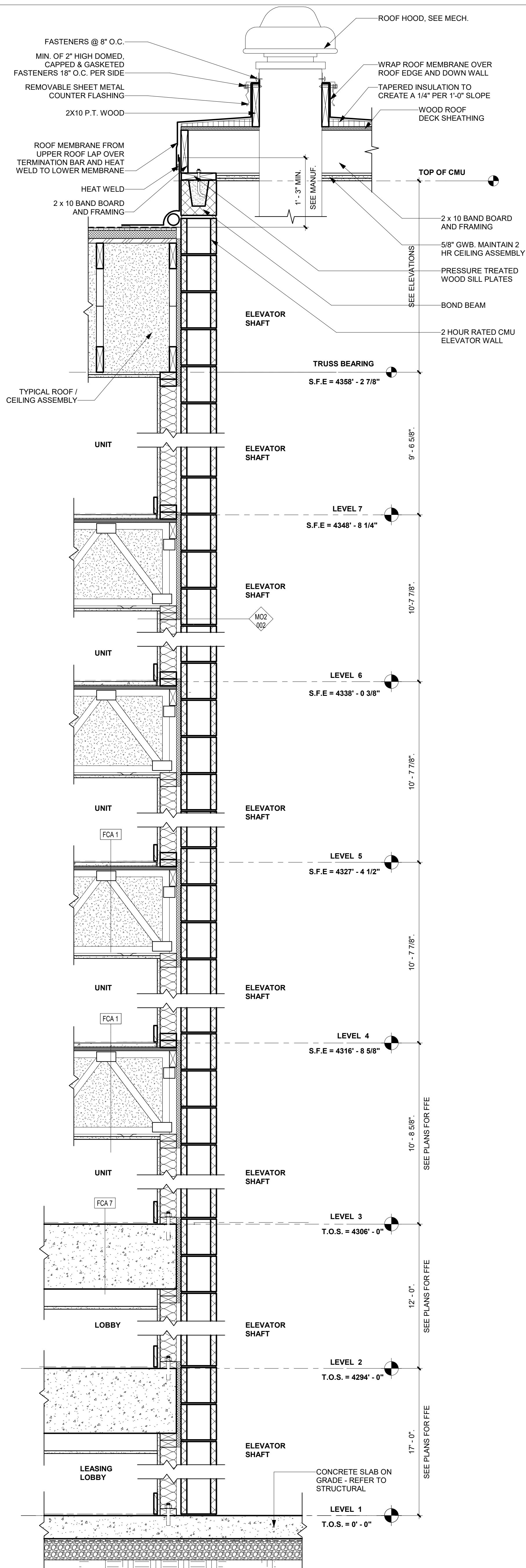
OVERALL
BUILDING
SECTIONS

JOB NUMBER: 2249901

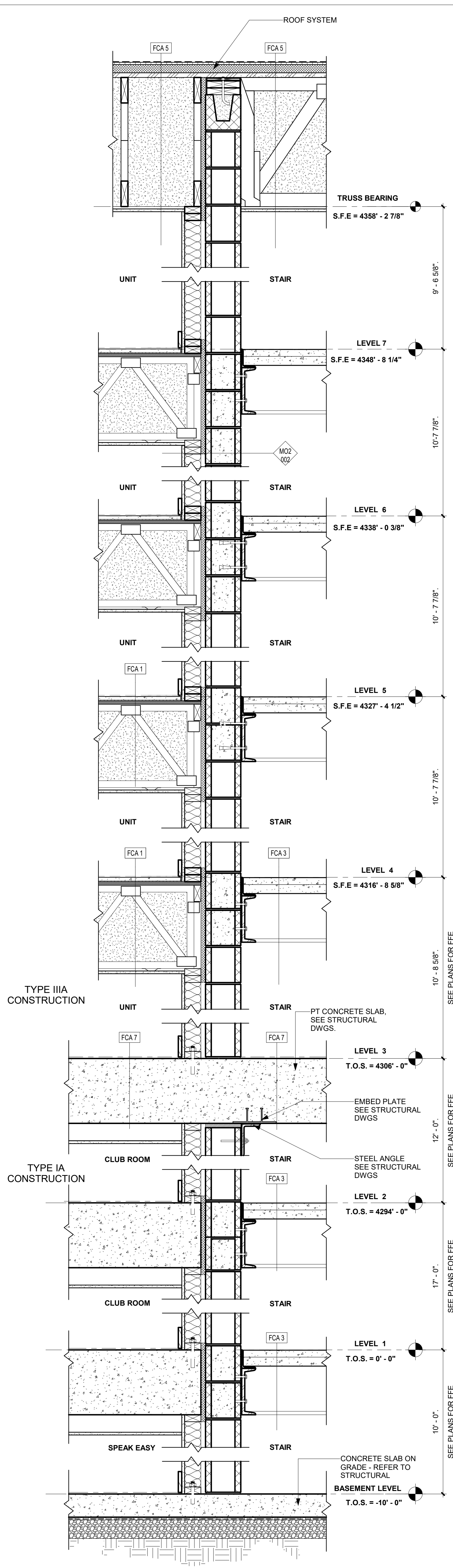
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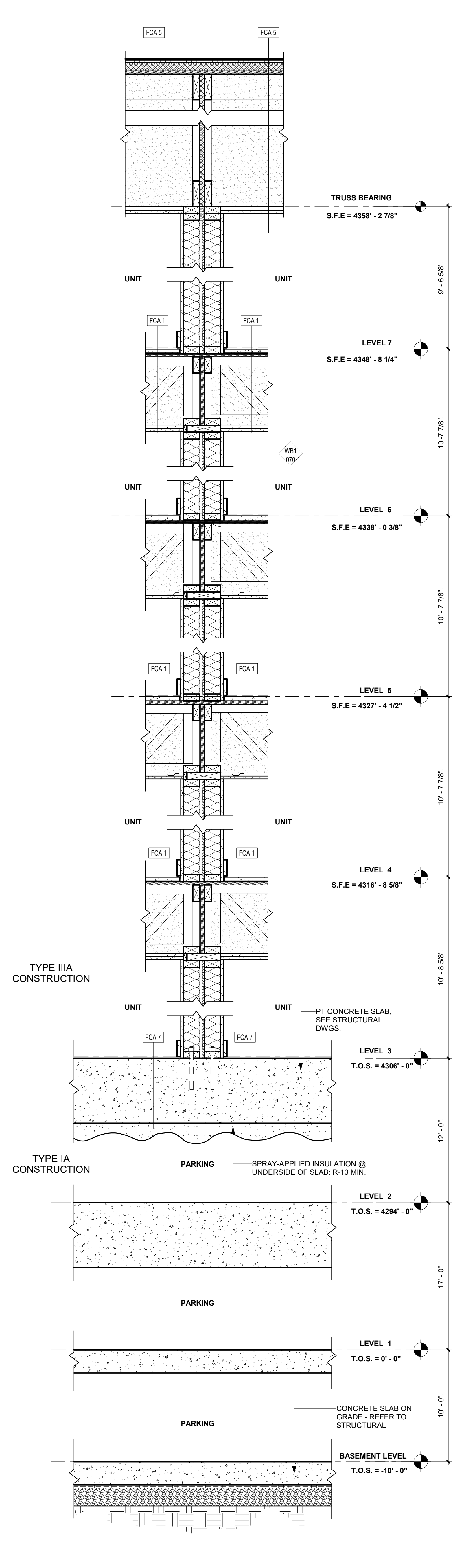
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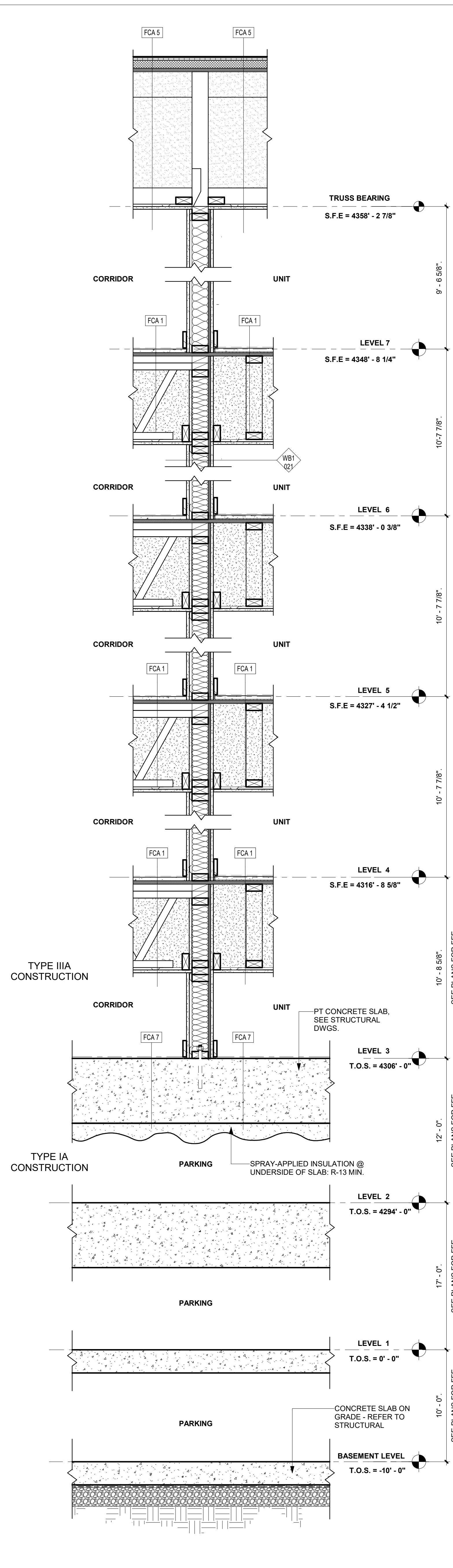
5 TYPICAL 2-HOUR CMU SHAFT@ ROOF STEP
1" = 1'-0"



3 TYPICAL 2-HOUR STAIR / LANDING
1" = 1'-0"



2 TENANT SEPERATION WALL OVER PODIUM
1" = 1'-0"



1 COORIDOR & UNIT SEPERATION OVER PODIUM
1" = 1'-0"

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ATLANTA, GA 30350
PHONE: 770.864.1035
dwelldesignstudio.com

EDISON STREET

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SALT LAKE CITY, UTAH 84111

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DESCRIPTION

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DATE

DESCRIPTION

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TYPICAL WALL
SECTIONS

JOB NUMBER:

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GK

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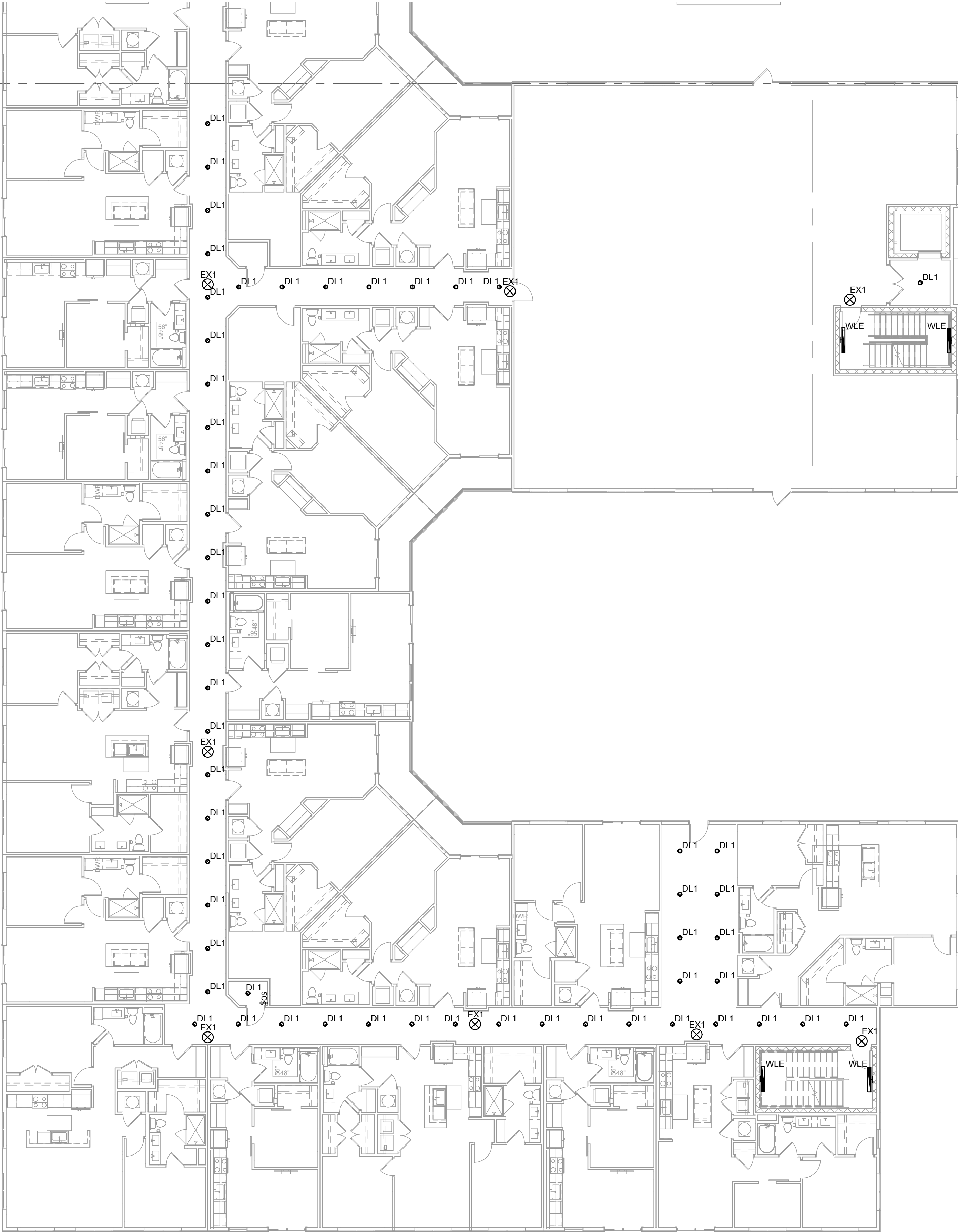
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D

C

B

A



1 LEVEL 3 SECTION A LIGHTING PLAN
E107 SCALE: 3/32" = 1'-0"

KEYED NOTES

1. PROVIDE A WALL MOUNT DUAL TECH TWO POLE OCC. SENSOR FOR RESTROOM LIGHT AND FAN CONTROL. (SENSOR SWITCH #WSX PDT 2P OR EQUIVALENT).
2. WALL MOUNT OCC. SENSOR SHALL BE DUAL TECH DIMMABLE (SENSOR SWITCH WSX PDT D) OR EQUIVALENT.
3. PROVIDE A LOW VOLTAGE OVERRIDE SWITCH FOR LIGHTING CONTROL PANEL. 2 BUTTON (ON/OFF).

GENERAL NOTES

- A. CONNECT ALL EMERGENCY AND EXIT LIGHT FIXTURES TO THE UNSWITCHED SIDE OF THE LIGHTING BRANCH CIRCUIT. LIGHT FIXTURES WITH EMERGENCY DRIVERS SHALL BE NORMALLY SWITCHED WITH THE AREA LIGHTING, BUT HAVE THEIR EMERGENCY DRIVERS CONNECTED AHEAD OF THE LIGHT SWITCH OR LIGHTING CONTROL PANEL RELAY. FIXTURES WILL REMAIN ON FOR NOT LESS THAN 90 MINUTES IN CASE OF POWER LOSS.
- B. IT IS THE INTENT OF THE CONSTRUCTION DOCUMENTS THAT CONDUIT IS TO BE INSTALLED WITHIN WALLS AND ABOVE CEILINGS CONCEALED WHERE POSSIBLE.
- C. COORDINATE MOUNTING HEIGHTS OF ALL PENDANT AND WALL MOUNTED LIGHT FIXTURES WITH ARCHITECTURAL ELEVATIONS.
- D. VERIFY FIXTURE DIMMING CONTROLS AND PROVIDE NECESSARY WIRING AND DEVICES REQUIRED FOR DIMMING OPERATION.
- E. CONCEAL ALL FIXTURE DRIVERS IN ACCESSIBLE CEILING SPACE OUT OF DIRECT VIEW.

LTG CTRL SEQUENCE OF OPERATION

LIGHTING AND CONTROLS ARE DESIGNED TO MEET IECC 2018.

LIGHTING CONTROL PANEL WILL BE PROGRAMMED TO TURN LIGHTS ON AND OFF FOR HOURS OF OPERATION.

LOW VOLTAGE SWITCHES WILL ACT AS OVERRIDES TO TIME SCHEDULING.

PHOTOCELLS WILL AUTOMATICALLY DIM LIGHTS WHEN DAYLIGHTING IS AVAILABLE.

OCCUPANCY SENSORS WILL CONTROL LIGHTING IN RESTROOMS, UTILITY ROOMS, AND BREAK ROOMS.

OCCUPANCY SENSORS IN OPEN OFFICES WILL CONTROL AREAS NOT GREATER THAN 600 SQUARE FEET AND TURN OFF WITHIN 20 MINUTES AFTER OCCUPANTS HAVE LEFT THE SPACE (C405.2.1.3).

WALL MOUNTED DIMMABLE OCC. SENSORS WILL BE PROVIDED IN PRIVATE OFFICES AND CONFERENCE ROOMS. OCCUPANCY SENSORS SHALL BE MANUAL ON OR CONTROLLED TO AUTOMATICALLY TURN ON TO NOT MORE THAN 50 PERCENT (C405.2.1.1).

MAIN LEVEL LIGHTING EXEMPT FROM DAYLIGHTING REQUIREMENTS PER IECC 2018 C405.2.3 EXEMPTIONS - 3 (A2 AND GROUP 'M' OCCUPANCY).

CORRIDOR AND STAIRWELL LIGHTING ARE EXEMPT FROM LIGHTING CONTROLS PER IECC 2018 C405.2.

DAYLIGHT ZONES EXEMPT FROM AUTOMATIC CONTROL REQUIREMENTS PER IECC 2018 405.2.3 (1) (LESS THAN 150 W)

DAYLIGHT ZONES EXEMPT FROM AUTOMATIC CONTROL REQUIREMENTS PER IECC 2018 405.2.3 EXEMPTIONS - 1 (HEALTH CARE FACILITIES WHERE PATIENT CARE IS DIRECTLY PROVIDED).

LIGHTING IN AISLEWAY AND OPEN AREAS OF WAREHOUSE SPACES SHALL BE CONTROLLED WITH OCC SENSORS THAT AUTOMATICALLY REDUCE LIGHTING POWER BY NO LESS THAN 50% WHEN AREAS ARE UNOCCUPIED. OCC SENSORS SHALL CONTROL LIGHTING IN EACH AISLEWAY INDEPENDENTLY AND SHALL NOT CONTROL LIGHTING BEYOND THE AISLEWAY BEING CONTROLLED BY THE SENSOR (C405.2.1.2).

KITCHEN AUTOMATIC LIGHTING CONTROLS NOT REQUIRED PER (C405.2.2 - EXCEPTION 2 - SPACES WHERE AUTOMATIC SHUTOFF WOULD ENDANGER OCCUPANT SAFETY); MANUAL DIMMER SWITCHES PROVIDED.

EXTERIOR LIGHTING SHALL BE PROGRAMMED TO TURN ON AT 6 A.M. AND OFF AT MIDNIGHT. PHOTOCELL WILL AUTOMATICALLY TURN LIGHTS OFF WHEN DAYLIGHTING IS PRESENT AND SATISFIES THE LIGHTING NEEDS (C405.2.6.1 - C405.2.6.3).

BUILDING FACADE AND LANDSCAPE LIGHTING SHALL BE PROGRAMMED TO SHUT OFF NOT LATER THAN 1 HOUR AFTER BUSINESS CLOSING TO NOT EARLIER THAN 1 HOUR BEFORE BUSINESS OPENS (C405.2.6.2).

EDISON STREET APARTMENTS

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CITY, STATE

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REVISIONS

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CONSULTING ENGINEERS, INC.
2332 West 12600 South, Suite F | Riverton, UT 84065
(801) 366-0553 www.rmcbe.com

PROJECT #: 22345
DRAWN BY: MM / NF
CHECKED BY: ENG
DATE: 01/01/2023

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SHEET TITLE:

LEVEL 3
SECTION A
LIGHTING PLAN

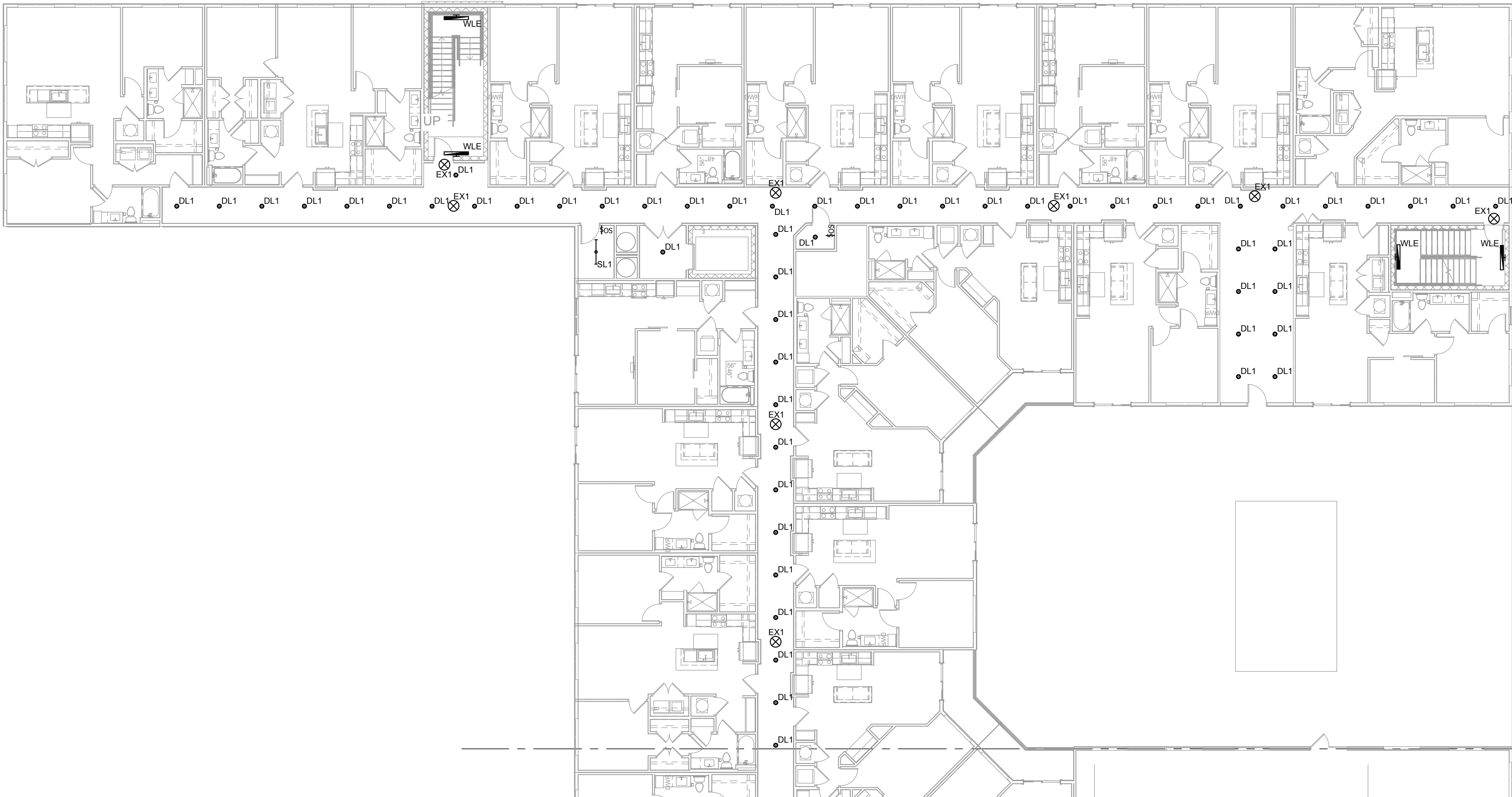
E107

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A



#	KEYED NOTES
1.	PROVIDE A WALL MOUNT DUAL TECH TWO POLE OCC. SENSOR FOR RESTROOM LIGHT AND FAN CONTROL. (SENSOR SWITCH #WSX PDT 2P OR EQUIVALENT).
2.	WALL MOUNT OCC. SENSOR SHALL BE DUAL TECH DIMMABLE (SENSOR SWITCH WSX PDT D) OR EQUIVALENT.
3.	PROVIDE A LOW VOLTAGE OVERRIDE SWITCH FOR LIGHTING CONTROL PANEL. 2 BUTTON (ON/OFF).
	GENERAL NOTES
A.	CONNECT ALL EMERGENCY AND EXIT LIGHT FIXTURES TO THE UNSWITCHED SIDE OF THE LIGHTING BRANCH CIRCUIT. LIGHT FIXTURES WITH EMERGENCY DRIVERS SHALL BE NORMALLY SWITCHED WITH THE AREA LIGHTING, BUT HAVE THEIR EMERGENCY DRIVERS CONNECTED AHEAD OF THE LIGHT SWITCH OR LIGHTING CONTROL PANEL RELAY. FIXTURES WILL REMAIN ON FOR NOT LESS THAN 90 MINUTES IN CASE OF POWER LOSS.
B.	IT IS THE INTENT OF THE CONSTRUCTION DOCUMENTS THAT CONDUIT IS TO BE INSTALLED WITHIN WALLS AND ABOVE CEILINGS CONCEALED WHERE POSSIBLE.
C.	COORDINATE MOUNTING HEIGHTS OF ALL PENDANT AND WALL MOUNTED LIGHT FIXTURES WITH ARCHITECTURAL ELEVATIONS.
D.	VERIFY FIXTURE DIMMING CONTROLS AND PROVIDE NECESSARY WIRING AND DEVICES REQUIRED FOR DIMMING OPERATION.
E.	CONCEAL ALL FIXTURE DRIVERS IN ACCESSIBLE CEILING SPACE OUT OF DIRECT VIEW.
	LTG CTRL SEQUENCE OF OPERATION
	LIGHTING AND CONTROLS ARE DESIGNED TO MEET IECC 2018.
	LIGHTING CONTROL PANEL WILL BE PROGRAMMED TO TURN LIGHTS ON AND OFF FOR HOURS OF OPERATION.
	LOW VOLTAGE SWITCHES WILL ACT AS OVERRIDES TO TIME SCHEDULING.
	PHOTOCELLS WILL AUTOMATICALLY DIM LIGHTS WHEN DAYLIGHTING IS AVAILABLE.
	OCCUPANCY SENSORS WILL CONTROL LIGHTING IN RESTROOMS, UTILITY ROOMS, AND BREAK ROOMS.
	OCCUPANCY SENSORS IN OPEN OFFICES WILL CONTROL AREAS NOT GREATER THAN 600 SQUARE FEET AND TURN OFF WITHIN 20 MINUTES AFTER OCCUPANTS HAVE LEFT THE SPACE (C405.2.1.3).
	WALL MOUNTED DIMMABLE OCC. SENSORS WILL BE PROVIDED IN PRIVATE OFFICES AND CONFERENCE ROOMS. OCCUPANCY SENSORS SHALL BE MANUAL ON OR CONTROLLED TO AUTOMATICALLY TURN ON TO NOT MORE THAN 50 PERCENT (C405.2.1.1).
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	BUILDING FACADE AND LANDSCAPE LIGHTING SHALL BE PROGRAMMED TO SHUT OFF NOT LATER THAN 1 HOUR AFTER BUSINESS CLOSING TO NOT EARLIER THAN 1 HOUR BEFORE BUSINESS OPENS (C405.2.6.2).

EDISON STREET APARTMENTS

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PROJECT #: 23245

DRAWN BY: MM / NF

CHECKED BY: ENG

DATE: 01/01/2023

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SHEET TITLE:

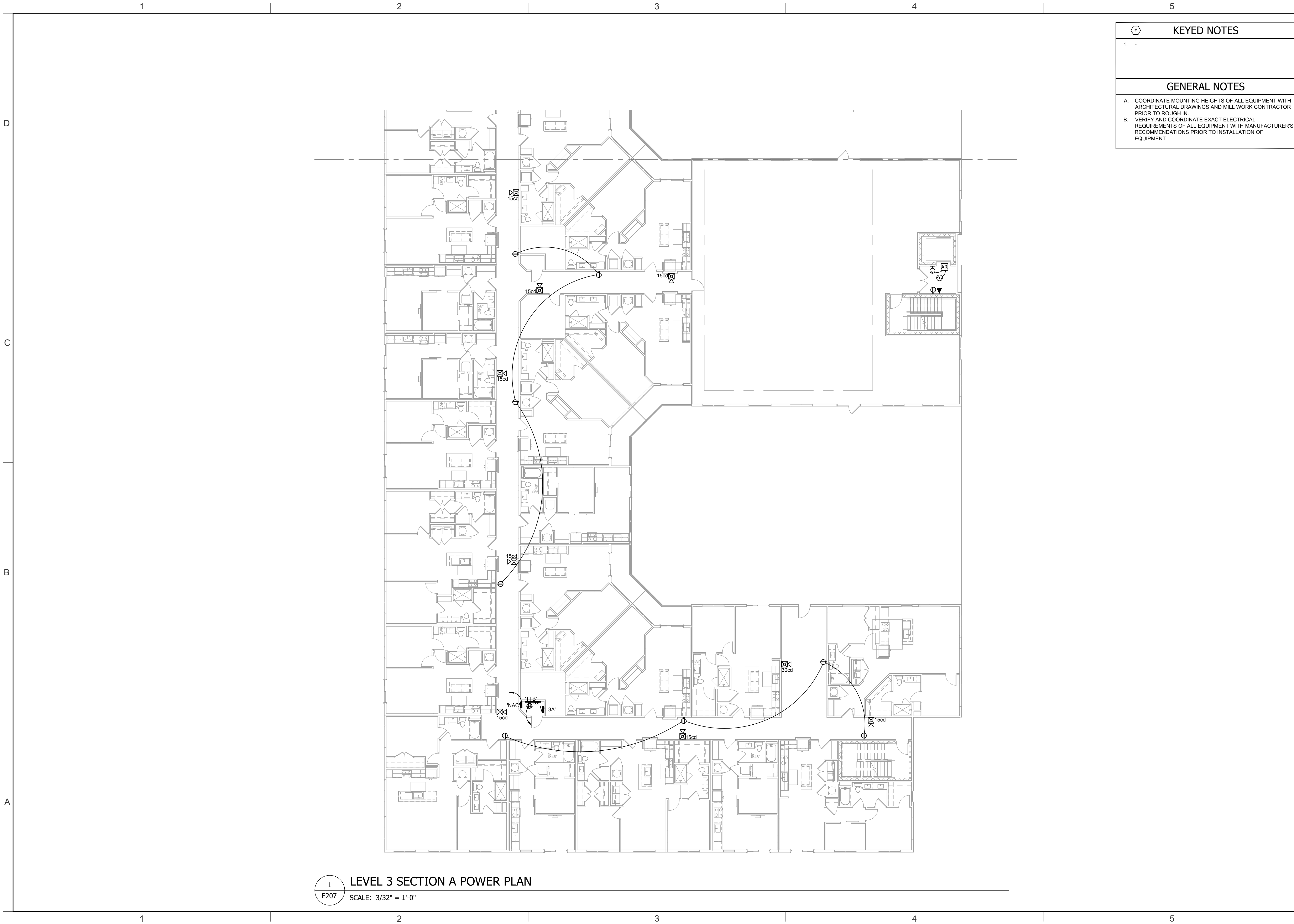
LEVEL 3
SECTION B
LIGHTING PLAN

E108

1
E108

LEVEL 3 SECTION B LIGHTING PLAN

SCALE: 3/32" = 1'-0"



#	KEYED NOTES
1.	-
GENERAL NOTES	
A. COORDINATE MOUNTING HEIGHTS OF ALL EQUIPMENT WITH ARCHITECTURAL DRAWINGS AND MILL WORK CONTRACTOR PRIOR TO ROUGH IN.	
B. VERIFY AND COORDINATE EXACT ELECTRICAL REQUIREMENTS OF ALL EQUIPMENT WITH MANUFACTURER'S RECOMMENDATIONS PRIOR TO INSTALLATION OF EQUIPMENT.	


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SHEET TITLE:

LEVEL 3
SECTION A
POWER PLAN

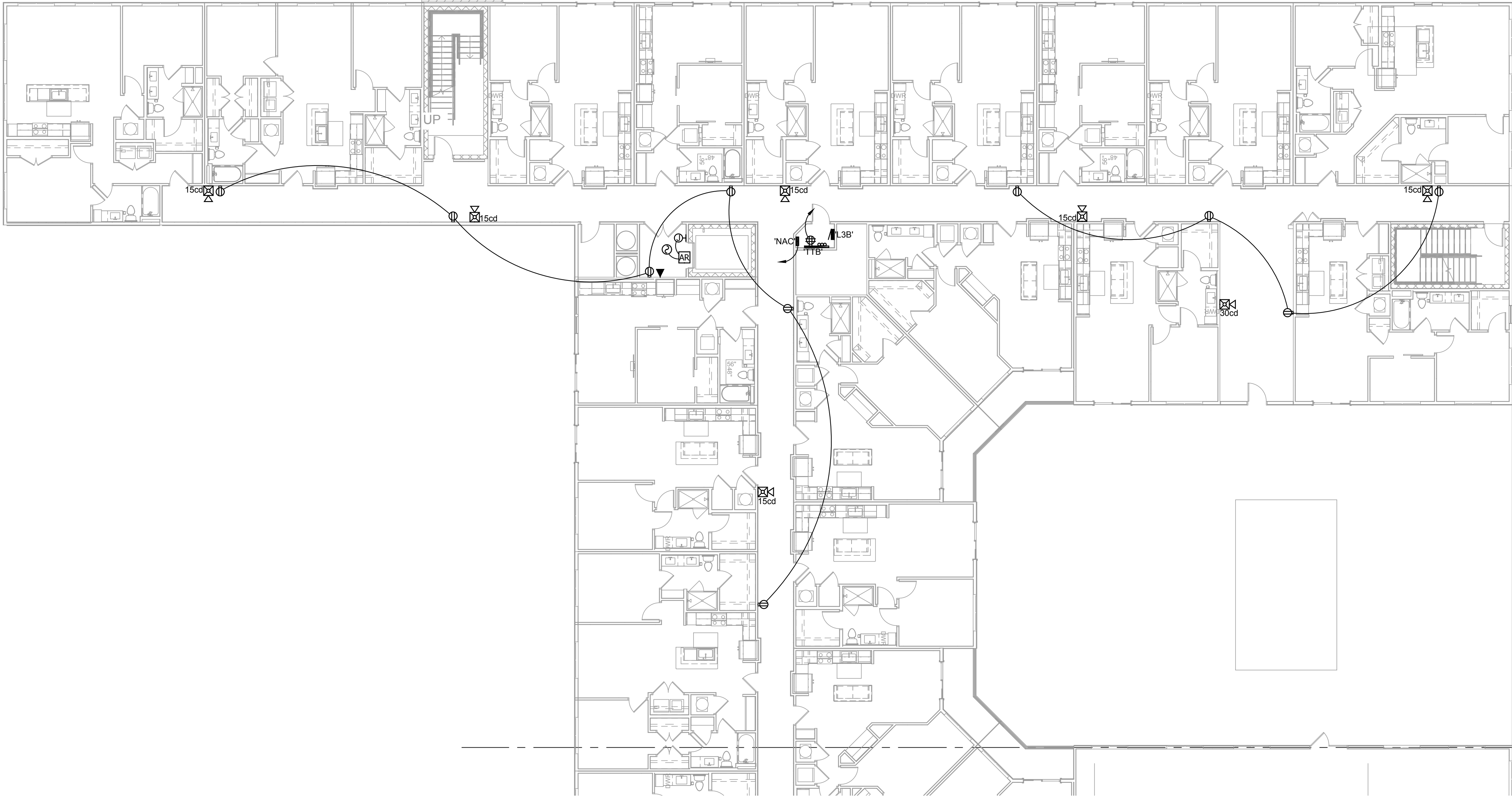
E207

D

C

B

A



#	KEYED NOTES
1.	-
GENERAL NOTES	
A. COORDINATE MOUNTING HEIGHTS OF ALL EQUIPMENT WITH ARCHITECTURAL DRAWINGS AND MILL WORK CONTRACTOR PRIOR TO ROUGH IN.	
B. VERIFY AND COORDINATE EXACT ELECTRICAL REQUIREMENTS OF ALL EQUIPMENT WITH MANUFACTURER'S RECOMMENDATIONS PRIOR TO INSTALLATION OF EQUIPMENT.	

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SHEET TITLE:

LEVEL 3
SECTION B
POWER PLAN

E208

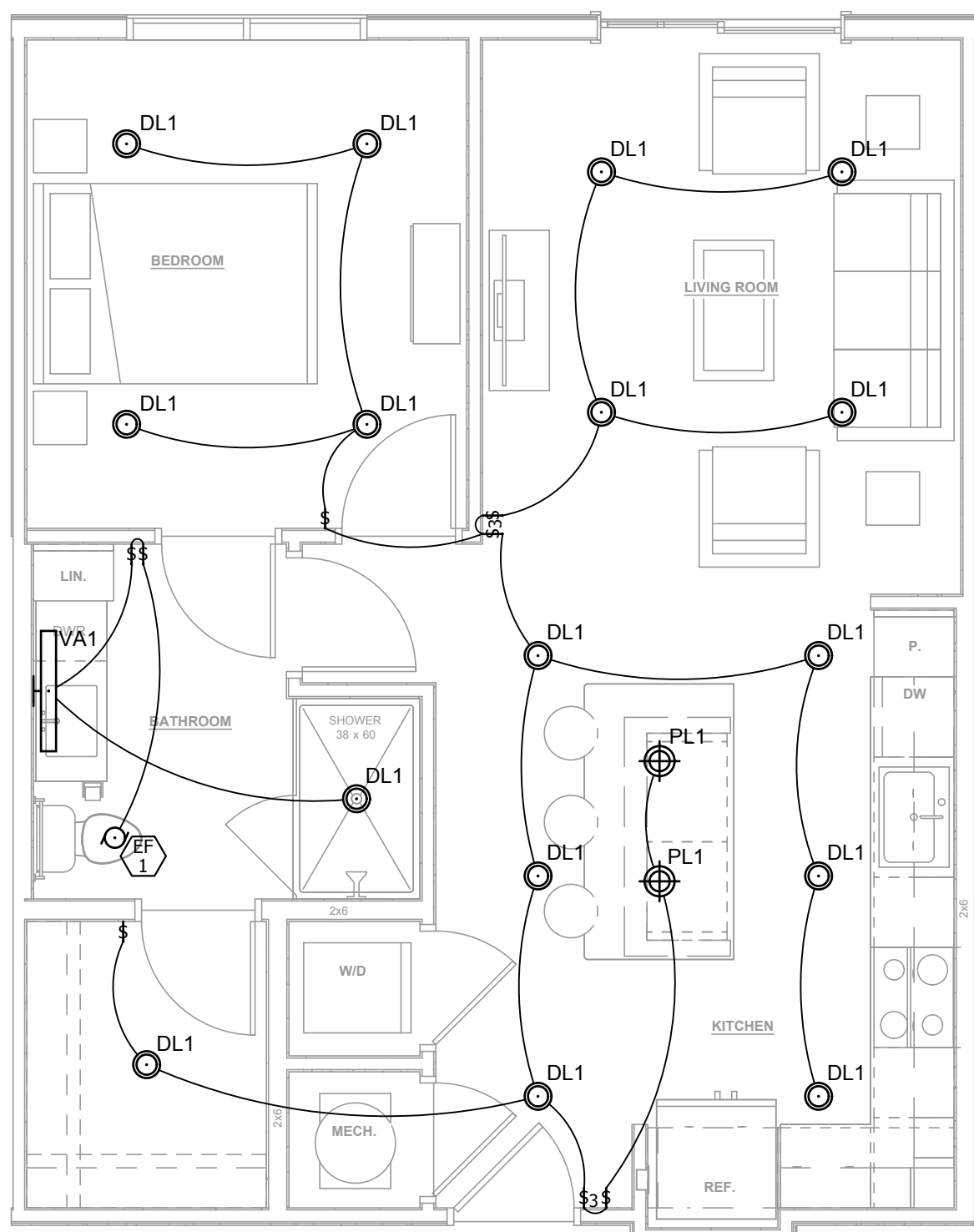
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E208
LEVEL 3 SECTION B POWER PLAN
SCALE: 3/32" = 1'-0"

D

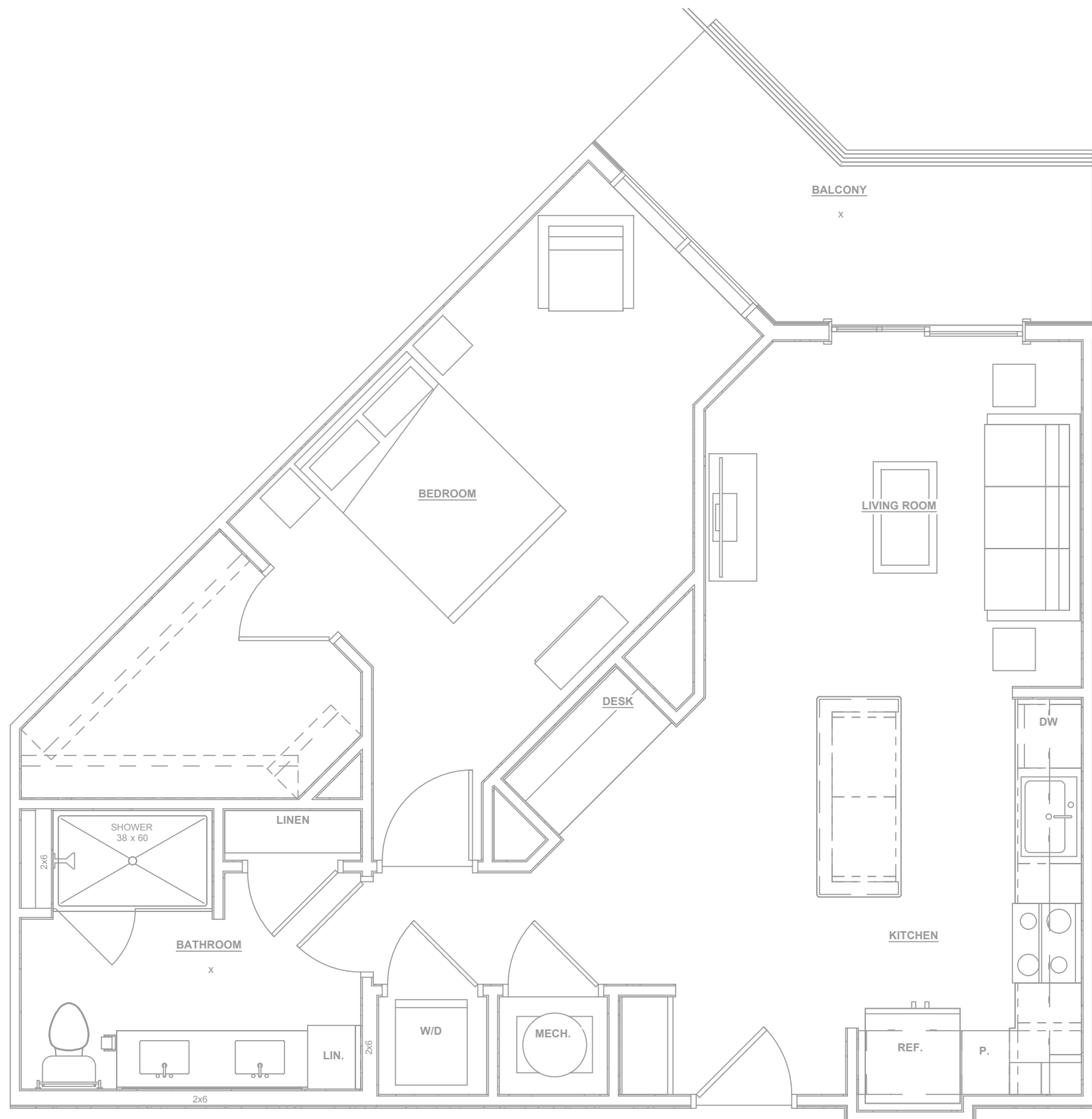
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1 UNIT A1 LIGHTING PLAN
E301 SCALE: 1/4" = 1'-0"



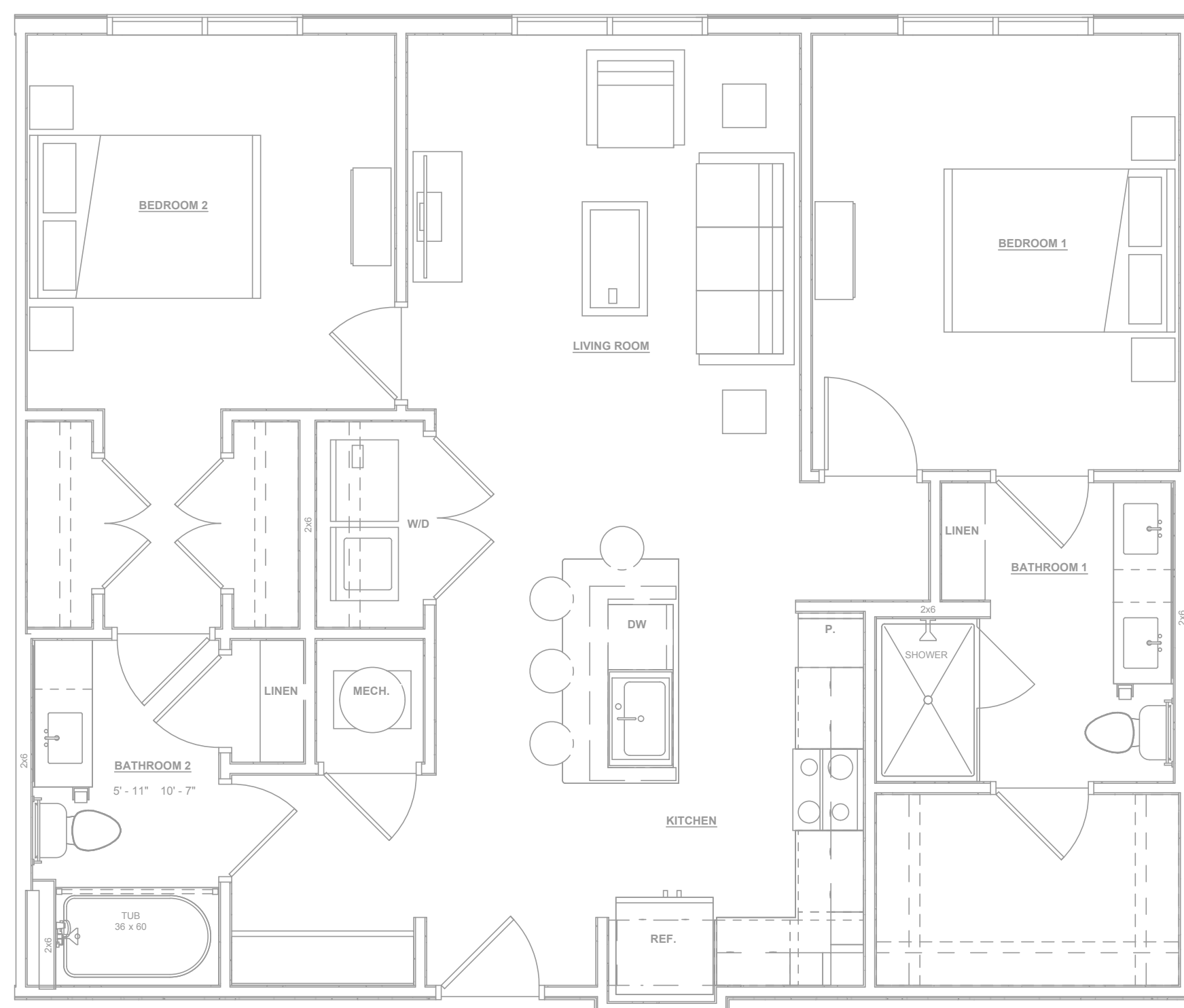
2 UNIT A2 LIGHTING PLAN
E301 SCALE: 1/4" = 1'-0"



3 UNIT A3 LIGHTING PLAN
E301 SCALE: 1/4" = 1'-0"



4 UNIT B1 LIGHTING PLAN
E301 SCALE: 1/4" = 1'-0"



5 UNIT B2 LIGHTING PLAN
E301 SCALE: 1/4" = 1'-0"

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PROJECT #:	23245
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SHEET TITLE:

TYPICAL UNIT
LIGHTING PLAN

E301



1
E304

UNIT A1 POWER PLAN
SCALE: 1/4" = 1'-0"

2
E304

UNIT A2 POWER PLAN
SCALE: 1/4" = 1'-0"

3
E304

UNIT A3 POWER PLAN
SCALE: 1/4" = 1'-0"

4
E304

UNIT B1 POWER PLAN
SCALE: 1/4" = 1'-0"

5
E304

UNIT B2 POWER PLAN
SCALE: 1/4" = 1'-0"

7

KEYED NOTES

1.

MOUNT RECEPTACLE HORIZONTALLY IN CABINET WALL JUST BELOW COUNTER TOP. COORDINATE INSTALLATION WITH MILLWORK INSTALLER.

2.

PROVIDE A STANDARD PLASTIC 14"x20" COMM BOX MOUNTED AT 60" AFF WITH COVER AND A DUPLEX RECEPTACLE LOCATED INSIDE. ALL TELECOM CABLING WITHIN APARTMENT UNIT SHALL BE ROUTED TO THIS BOX. PROVIDE A 1" ENT FROM THIS BOX TO THE BUILDING TELECOMMUNICATION BOARD. SEE TELECOM RISER FOR MORE INFORMATION.

3.

USB RECEPTACLE TO BE SLAVED FROM GFCI RECEPTACLE IN SAME CIRCUIT.

4.

CIRCUIT BATHROOM RECEPTACLE WITH LIGHTS AND FAN. IN TYPE A AND B ADA UNITS, INSTALL THE UNIT PANEL SO THAT TOP OF THE UPPERMOST BREAKER IS 48" AFF. PROVIDE ARC FAULT BREAKERS AS REQUIRED PER NEC ARTICLE 210.12.

5.

MOUNT RECEPTACLES IN TYPE A AND B UNITS AT 24" AFF UNO.

6.

COORDINATE LOCATION AND MOUNTING HEIGHT OF MICROWAVE / HOOD RECEPTACLE WITH MILLWORK INSTALLER.

7.

HORN / STROBE TO BE CONNECTED TO BUILDING FIRE ALARM SYSTEM. HORN STROBES TO BE MOUNTED AT 84" AFF.

8.

SEE PANEL SCHEDULE FOR A/C UNIT CIRCUITING.

9.

PROVIDE FUTURE CONNECTIONS TO THE BUILDING STROBE LOOP FOR FUTURE AUDIO / VISUAL NOTIFICATION DEVICE. PROVIDE ROUGH IN ONLY FOR FUTURE STROBE DEVICES IN BEDROOM AND RESTROOMS OF TYPE B ADA UNITS.

10.

MOUNT SWITCH FOR DISPOSAL CONTROL IN THE CABINET JUST UNDER THE SINK. SWITCH SHALL BE MOUNTED WITHIN 6" OF THE CABINET OPENING WHERE EASILY ACCESSIBLE AND NOT EXPOSED TO PHYSICAL DAMAGE. COORDINATE DISHWASHER AND DISPOSAL RECEPTACLE MOUNTING HEIGHT WITH PLUMBING CONTRACTOR.

GENERAL NOTES

A.

COORDINATE MOUNTING HEIGHTS OF ALL EQUIPMENT WITH ARCHITECTURAL DRAWINGS AND MILL WORK CONTRACTOR PRIOR TO ROUGH IN.

B.

VERIFY AND COORDINATE EXACT ELECTRICAL REQUIREMENTS OF ALL EQUIPMENT WITH MANUFACTURER'S RECOMMENDATIONS PRIOR TO INSTALLATION OF EQUIPMENT.

REVISIONS	

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PROJECT #:

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MM / NF

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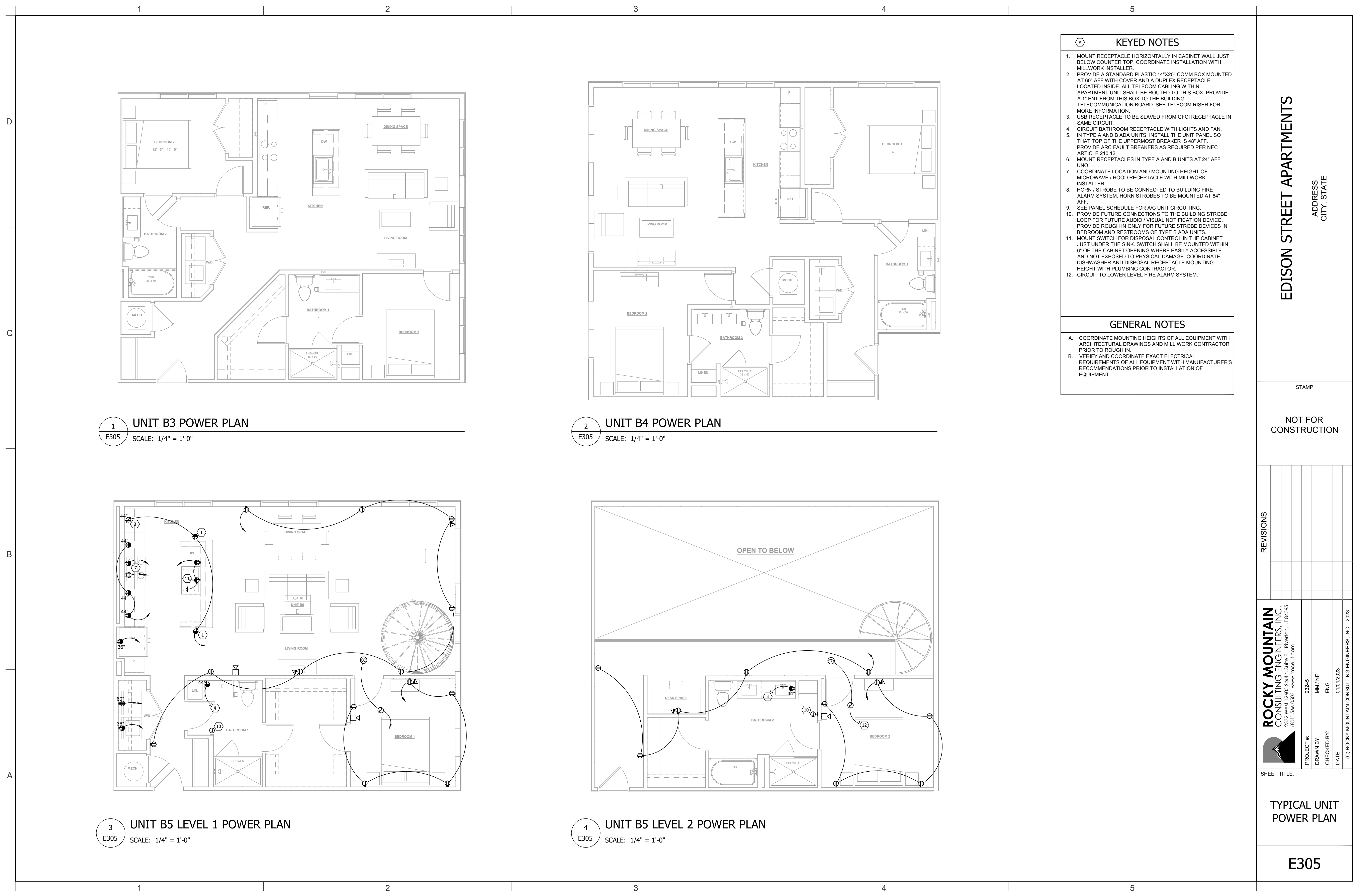
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SHEET TITLE:

TYPICAL UNIT
POWER PLAN

E304



KEYED NOTES
1. MOUNT RECEPTACLE HORIZONTALLY IN CABINET WALL JUST BELOW COUNTER TOP. COORDINATE INSTALLATION WITH MILLWORK INSTALLER.
2. PROVIDE A STANDARD PLASTIC 14"x20" COMM BOX MOUNTED AT 60" AFF WITH COVER AND A DUPLEX RECEPTACLE LOCATED INSIDE. ALL TELECOM CABLING WITHIN APARTMENT UNIT SHALL BE ROUTED TO THIS BOX. PROVIDE A 1" ENT FROM THIS BOX TO THE BUILDING TELECOMMUNICATION BOARD. SEE TELECOM RISER FOR MORE INFORMATION.
3. USB RECEPTACLE TO BE SLAVED FROM GFCI RECEPTACLE IN SAME CIRCUIT.
4. CIRCUIT BATHROOM RECEPTACLE WITH LIGHTS AND FAN.
5. IN TYPE A AND B ADA UNITS, INSTALL THE UNIT PANEL SO THAT TOP OF THE UPPERMOST BREAKER IS 48" AFF. PROVIDE ARC FAULT BREAKERS AS REQUIRED PER NEC ARTICLE 210.12.
6. MOUNT RECEPTACLES IN TYPE A AND B UNITS AT 24" AFF UNO.
7. COORDINATE LOCATION AND MOUNTING HEIGHT OF MICROWAVE / HOOD RECEPTACLE WITH MILLWORK INSTALLER.
8. HORN / STROBE TO BE CONNECTED TO BUILDING FIRE ALARM SYSTEM. HORN STROBES TO BE MOUNTED AT 84" AFF.
9. SEE PANEL SCHEDULE FOR A/C UNIT CIRCUITING.
10. PROVIDE FUTURE CONNECTIONS TO THE BUILDING STROBE LOOP FOR FUTURE AUDIO / VISUAL NOTIFICATION DEVICE. PROVIDE ROUGH IN ONLY FOR FUTURE STROBE DEVICES IN BEDROOM AND RESTROOMS OF TYPE B ADA UNITS.
11. MOUNT SWITCH FOR DISPOSAL CONTROL IN THE CABINET JUST UNDER THE SINK. SWITCH SHALL BE MOUNTED WITHIN 6" OF THE CABINET OPENING WHERE EASILY ACCESSIBLE AND NOT EXPOSED TO PHYSICAL DAMAGE. COORDINATE DISHWASHER AND DISPOSAL RECEPTACLE MOUNTING HEIGHT WITH PLUMBING CONTRACTOR.
12. CIRCUIT TO LOWER LEVEL FIRE ALARM SYSTEM.

GENERAL NOTES
A. COORDINATE MOUNTING HEIGHTS OF ALL EQUIPMENT WITH ARCHITECTURAL DRAWINGS AND MILL WORK CONTRACTOR PRIOR TO ROUGH IN.
B. VERIFY AND COORDINATE EXACT ELECTRICAL REQUIREMENTS OF ALL EQUIPMENT WITH MANUFACTURER'S RECOMMENDATIONS PRIOR TO INSTALLATION OF EQUIPMENT.

EDISON STREET APARTMENTS

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SHEET TITLE:

TYPICAL UNIT
POWER PLAN

E305